

Clarence Grier
County Manager

Sally Shutt
Assistant County
Manager



Rawls Howard
Director

David Moon
Deputy Director

CUMBERLAND COUNTY JOINT PLANNING BOARD

AGENDA

July 18, 2023

6:00 PM

Hearing Room #3

- I. INVOCATION AND PLEDGE OF ALLEGIANCE
- II. SWEARING IN OF NEW BOARD MEMBERS
- III. ELECTION OF OFFICERS
- IV. ADJUSTMENTS TO / APPROVAL OF AGENDA
- V. PUBLIC MEETING WITHDRAWALS / DEFERRALS
- VI. ABSTENTIONS BY BOARD MEMBERS
- VII. APPROVAL OF THE MINUTES

A. MINUTES OF JUNE 20, 2023

- VIII. CHAIRMAN'S WELCOME AND RULES OF PROCEDURE
- IX. PUBLIC MEETING CONSENT ITEMS

TEXT AMENDMENT

- B. Case ZON-23-0016: Text Amendment to the Cumberland County Zoning Ordinance to update and reflect the name change of Fort Bragg military base to Fort Liberty; submitted by Planning & Inspections Staff (applicant).**
- C. Case ZON-23-0017: Text Amendment to the Town of Linden Zoning Ordinance to update and reflect the name change of Fort Bragg military base to Fort Liberty; submitted by Town of Linden (applicant). (Linden)**
- D. Case ZON-23-0018: Text Amendment to the Town of Spring Lake Zoning Ordinance to update and reflect the name change of Fort Bragg military base to Fort Liberty; submitted by Town of Spring Lake (applicant). (Spring Lake)**
- E. Case ZON-23-0019: Text Amendment to the Cumberland County Subdivision Ordinance to update and reflect the name change of Fort Bragg military base to Fort Liberty; submitted by Planning & Inspections Staff (applicant).**

REZONING CASES

- F. Case ZNG-007-23: Initial zoning of 2.30+/- acres to the C(P) Planned**

**Commercial District; located at 0 Chickenfoot Rd REID 0423332619000;
submitted by the Town of Hope Mills (agent) on behalf of Fayetteville
(Chickenfoot) WW, LLC (owner). (Hope Mills)**

- G. Case ZON-23-0012: Rezoning from R6 Residential District to C-1 Local Business District or to a more restrictive zoning district for 1.20 +/- acres; located at 206 Ziglar Circle, submitted by Raymond Sharp (applicant) on behalf of Shirley Parker Newsome Trustee (owner). (Spring Lake)**
- H. Case ZON-23-0014: Conditional rezoning from C1(P) Planned Local Business District and M(P) Planned Industrial District to M(P)/CZ Planned Industrial District Conditional Zoning or a more restrictive zoning district for 10.58 +/- acres, located at the northwest corner of Middle River Loop Road and River Road, submitted by Garret Fulcher (agent) on behalf of Fulcher Real Estate, LLC (owner).**
- I. Case ZON-23-0015: Rezoning from R40A Residential District to R6 Residential District or to a more restrictive zoning district for 23.28 +/- acres; located at the west side of Godwin Falcon Road and north of Moses Road, submitted by Willie J. and Shirley Mae Burnette (applicant/owner). (Godwin)**

X. PUBLIC MEETING CONTESTED ITEMS

REZONING CASES

- J. Case ZNG-006-23: Initial zoning of 4.01+/- acres to C(P) Planned Commercial District or to a more restrictive zoning district, located at 0 Golfview Rd REID 0414127031000, submitted by the Town of Hope Mills (agent) on behalf of JNM of NC Inc. (owner) (Hope Mills)**

XI. DISCUSSION

K. NONE

XII. ADJOURNMENT

Historic Cumberland County Courthouse | 130 Gillespie Street | P.O. Box 1829 |
Fayetteville, North Carolina 28301 | Phone: 910-678-7600 | Fax: 910-678-7631
www.cumberlandcountync.gov



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM:

DATE:

SUBJECT: MINUTES OF JUNE 20, 2023

ATTACHMENTS:

Description

Minutes of June 20, 2023

Type

Backup Material

Clarence G. Grier
County Manager

Sally Shutt
Assistant County Manager



Rawls Howard
Director

David Moon
Deputy Director

Cumberland County Joint Planning Board

MINUTES

June 20, 2023

Members Present	Members Absent	Others Present
Mr. Stan Crumpler, Chair	Mrs. Susan Moody	Mr. Rawls Howard
Mrs. Jami McLaughlin, Vice-Chair	Mr. Jordan Stewart	Mr. David Moon
Mr. James Baker	Mr. Mark Williams	Mr. Rufus D. Smith III
Mr. William Walters		Mr. Rick Moorefield, County Attorney
Mr. Tom Lloyd		Mrs. Cherice Hill
Ms. Kasandra Herbert		
Mr. Gary Burton		

I. INVOCATION AND PLEDGE OF ALLEGIANCE

Mr. Crumpler delivered the invocation and led those present in the Pledge of Allegiance.

II. ADJUSTMENTS TO / APPROVAL OF AGENDA

There were none.

Mr. Baker made a motion, seconded by Mr. Burton to approve the agenda, as submitted. Unanimous approval.

III. PUBLIC MEETING DEFERRAL / WITHDRAWALS

ZNG-006-23: Initial zoning of 4.01 +/- acres to C(P) Planned Commercial District or to a more restrictive zoning district, located at 0 Golfview Rd REID 0414127031000, submitted by the Town of Hope Mills (agent) on behalf of JNM of NC Inc. (owner).
THE TOWN OF HOPE MILLS REQUESTED DEFERRAL TO JULY 18, 2023

Mr. Baker made a motion, seconded by Ms. Herbert to approve the deferral and hear case ZNG-006-23 at the July 18, 2023 Board meeting. Unanimous approval.

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Sally Shutt
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David Moon
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Cumberland County Joint Planning Board

ZON-23-0010: Rezoning from A1 Agricultural District to R40A Residential District or to a more restrictive zoning district for 10.04 +/- acres; located South of Tom Burns Road off Cedar Creek Road, submitted by Deborah Pichardo and Robin Tyler Woodard (applicant/owner). **APPLICANT REQUESTED WITHDRAWL OF REZONING APPLICATION**

Mr. Baker made a motion, seconded by Mr. Lloyd to accept the case withdrawal. Unanimous approval.

IV. ABSTENTIONS BY BOARD MEMBERS

There were none.

V. APPROVAL OF THE MINUTES OF MAY 16, 2023

Mr. Baker made a motion, seconded by Mrs. McLaughlin to approve the minutes, as submitted. Unanimous approval.

VI. CHAIRMAN'S WELCOME AND RULES OF PROCEDURE

Chairman's welcome was not read as there were no sign ups to speak for or against any of the cases.

VII. PUBLIC MEETING CONSENT ITEMS

REZONING CASES

- A. ZON-23-0011: Text Amendment to the Eastover Commercial Core Overlay Ordinances to update and revise standards associated with permissible and prohibited uses located within the Commercial Core; submitted by Town of Eastover (applicant).

In Case ZON-23-0011, Planning & Inspections staff recommends approval of the text amendment and finds the request consistent with the Eastover Area Land Use Plan which encourages promotion and enhancement of the small-scale commercial character of the overlay area. Approval of the text amendment is also reasonable and in the public interest as it meets the purpose and intent of the Commercial Core Overlay District.

In Case ZON-23-0011, Mr. Lloyd made a motion, seconded by Mr. Baker to recommend approval of the text amendment and find the request consistent with the Eastover Area Land Use Plan which encourages promotion and enhancement



Cumberland County Joint Planning Board

of the small-scale commercial character of the overlay area. Approval of the text amendment is also reasonable and in the public interest as it meets the purpose and intent of the Commercial Core Overlay District. Unanimous approval.

VIII. PUBLIC MEETING CONTESTED ITEMS

REZONING CASES

None

IX. DISCUSSION

- B. Mr. Smith presented Comprehensive Planning's Land Use Policies Plan Summary Report. He explained recommendations made by the report and asked the Board for guidance to identify additional issues. Mr. Smith asked the Board to help his division update the land use policies plan so that it can be a reference for future zoning cases.

Mr. Walters joined the Board at 6:10pm.

Mr. Howard advised the Board he could provide a digital copy of the Land Use Plan Report, if preferred.

Mr. Lloyd stated that the Policies Plan should be viewed as part of the 2030 Plan and not an addendum to it. He gave a brief history as to its development. He expressed concerns about the details in the report and recommends Mr. Smith involve industry experts such as farmers, stake holders, and the Board in the update process. He further stated that the Board makes recommendations and needs to know what those recommendations are based on, which is where the Policies Plan comes into play.

Mr. Smith reiterated that the reason for the Land Use Plan Report was a "first step" to encourage Board involvement and noted that it was going to be an ongoing project. He further expressed that the report was in the beginning stages and plan to use the current 30-page document to move forward with the Board's guidance on the actual update.

Mr. Howard expressed that the Land Use Plan Report Summary process was overseen by professors at East Carolina University and was also guided by the Planning Department senior staff. He also noted that the report was reviewed in a Comprehensive Plan Committee meeting.

Chair Crumpler expressed concerns regarding engineer's accountability in the invent of floodings and who would be held responsible considering they are the ones providing professional expertise to contractors on new developments.

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Cumberland County Joint Planning Board

The Board further discussed engineering's relation to land use and how to incorporate them in the Land Use Policy Report, as well as how to mitigate responsibility in the event of conflicting land use issues, such as flooding.

- C. Mr. Howard advised the Board that the Planning Department ended the contract with the existing consultant due to performance concerns. He informed them that after July 1st, he would work to put out an RFP to solicit other firms to complete the work done thus far. Mr. Howard further stated that he received a working draft from the current consultant that can be used by the new consultant, the focus group, and Codes Committee.
- D. Mr. Howard informed the Board of upcoming text amendment modifications to the sign ordinance and others. He also advised that because of Fort Bragg's name change, they will make any necessary changes to the County's ordinances. Mr. Howard also pointed out that the State has come out with a model comprehensive update of its Watershed Ordinance. He advised that Planning staff are working on ways to incorporate updates. Mr. Howard requested to meet with the Codes Committee to review the updates to the Comprehensive Watershed Ordinance.

Chair Crumpler inquired about how the new sign ordinances are being received by the citizens.

Mr. Howard advised the Board the Sign Ordinance update was received very well; especially the standard for regulation based upon road size. He mentioned that there needed to be some minor amendments to address some noticed interpretation issues.

- E. Mr. Howard acknowledged the appointment of the new Board member for Stedman, Todd Mobley, who was in the audience and advised of the re-appointment status of the remaining Board members. He advised that members would be sworn in at the next Board meeting in July. He also advised of the upcoming election of officers.

Mr. Lloyd requested clarification from the Planning Department on the process of approving exempt subdivisions. He asked for a meeting with the County Attorney and staff to discuss the process for exempt plat review and approval.

X. ADJOURNMENT

There being no further business, the meeting adjourned at 6:39 pm



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

SUBJECT: CASE ZON-23-0016: TEXT AMENDMENT TO THE CUMBERLAND COUNTY ZONING ORDINANCE TO UPDATE AND REFLECT THE NAME CHANGE OF FORT BRAGG MILITARY BASE TO FORT LIBERTY; SUBMITTED BY PLANNING & INSPECTIONS STAFF (APPLICANT).

ATTACHMENTS:

Description

Case ZON-23-0016

Type

Backup Material



PLANNING & INSPECTIONS

PLANNING STAFF REPORT
ZONING REGULATIONS- CASE # ZON-23-0016
Planning Board Meeting: July 18, 2023

Jurisdiction: Cumberland County

EXPLANATION OF THE REQUEST

This request is a staff-driven comprehensive text amendment to the Cumberland County Zoning Ordinance to update and reflect the name change of Fort Bragg military garrison to Fort Liberty.

In response to the William M. (Mac) Thornberry National Defense Authorization Act adopted by the U.S. Congress and enacted on January 1, 2021, the U.S. Department of Defense Naming Commission was created and directed to "remove all names, symbols, displays, monuments, and paraphernalia that honor or commemorate the Confederate States of America or any person who served voluntarily with the Confederate States of America from all assets of the Department of Defense." This directive includes renaming Fort Bragg as well as eight other military installations or garrisons named after Confederate military leaders. The proposed text amendments are provided in this report.

STAFF RECOMMENDATION

In Case ZON-23-0016, Planning & Inspections Staff **recommends approval** of the text amendment and finds the request consistent with the 2030 Growth Vision Plan because, while specific land use plan policies do not address a comprehensive update to the County's Zoning Ordinance, a current ordinance that is in compliance with Federal law allows the department to continue to provide efficient and effective services to achieve goals laid out not only in the 2030 Growth Vision Plan, but all detailed land use plans within the County. Approval of this text amendment is also reasonable and in the public interest as it is a comprehensive update to clarify standards and review processes for the public.

CUMBERLAND COUNTY ZONING CODE AMENDMENTS

(Changes are shown in strike-through, under-score format)

Article II, Section 203. Definitions of Specific Terms and Words.

Fort Bragg: See "Fort Liberty".

Fort Liberty: The United States military reservation that is under the administrative control of the United States Army Garrison Fort Liberty. The term "Fort Liberty" shall also mean any sub-installation of the reservation under the operational control of the Garrison, including Pope Field, Simmons Army Airfield, and all other real property owned, leased, or managed by the United States that fall under the control of the Garrison and located within Cumberland County.

ARTICLE XV, SECTION 1501. SUBMISSION OF AMENDMENTS AND CHANGES.

D. Notice to Military Bases. All requests for amendments that would change or affect the permitted uses of land located five miles or less from the perimeter boundary of Fort Bragg Liberty, Pope Field Air Force Base, and/or Simmons Army Airfield shall be provided to the Commander of said bases in accordance with N. C. GEN. STAT. §160D-601. (Amd. 02-19-08; Amd. 02-01-21; Amd. 0_ _ 23)

Article XVI, SECTION 1607. HEARINGS.

C. The Secretary to the Board of Adjustment shall ensure the Commanders of Fort Bragg Liberty, Pope Field Army Airfield, and Simmons Army Airfield are notified of any application affecting the use of property located within five miles or less of the perimeter boundary of said bases in accordance with N.C. GEN. STAT. §160D-601. (Amd. 02-01-21, Amd. 0_ _ - 23)



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

**SUBJECT: CASE ZON-23-0017: TEXT AMENDMENT TO THE TOWN OF LINDEN
ZONING ORDINANCE TO UPDATE AND REFLECT THE NAME
CHANGE OF FORT BRAGG MILITARY BASE TO FORT LIBERTY;
SUBMITTED BY TOWN OF LINDEN (APPLICANT). (LINDEN)**

ATTACHMENTS:

Description

Case ZON-23-0017

Type

Backup Material



PLANNING & INSPECTIONS

PLANNING STAFF REPORT
ZONING REGULATIONS- CASE # ZON-23-0017
Planning Board Meeting: July 18, 2023

Jurisdiction: Town of Linden

EXPLANATION OF THE REQUEST

This request is a staff-driven comprehensive text amendment to the Town of Linden Zoning Ordinance to update and reflect the name change of Fort Bragg military garrison to Fort Liberty.

In response to the William M. (Mac) Thornberry National Defense Authorization Act adopted by the U.S. Congress and enacted on January 1, 2021, the U.S. Department of Defense Naming Commission was created and directed to "remove all names, symbols, displays, monuments, and paraphernalia that honor or commemorate the Confederate States of America or any person who served voluntarily with the Confederate States of America from all assets of the Department of Defense." This directive includes renaming Fort Bragg as well as eight other military installations or garrisons named after Confederate military leaders. The proposed text amendments are provided in this report.

STAFF RECOMMENDATION

In Case ZON-23-0017, Planning & Inspections Staff **recommends approval** of the text amendment and finds the request consistent with the 2030 Growth Vision Plan because, while specific land use plan policies do not address a comprehensive update to the Town of Linden's Zoning Ordinance, a current ordinance that is in compliance with Federal law allows the Town and department to continue to provide efficient and effective services to achieve goals laid out not only in the 2030 Growth Vision Plan, but all detailed land use plans within the Town of Linden. Approval of this text amendment is also reasonable and in the public interest as it is a comprehensive update to clarify standards and review processes for the public.

LINDEN ZONING CODE AMENDMENTS

(Changes are shown in strike-through, under-score format)

Article II, Section 2-203. Definitions of Specific Terms and Words.

Fort Bragg: See "Fort Liberty".

Fort Liberty: The United States military reservation that is under the administrative control of the United States Army Garrison Fort Liberty. The term "Fort Liberty" shall also mean any sub-installation of the reservation under the operational control of the Garrison, including Pope Field, Simmons Army Airfield, and all other real property owned, leased, or managed by the United States that fall under the control of the Garrison and located within Cumberland County. (Amd. 0_ _- 23)

ARTICLE XIV, SECTION 14-1401. SUBMISSION OF AMENDMENTS AND CHANGES

D. **Notice to Military Bases.** All request for amendments that would change or affect the permitted uses of land located five miles or less from the perimeter boundary or Fort Bragg Liberty, Pope Air Force Base Field, and/or Simmons Army Airfield shall be provided to the Commander of said bases in accordance with N.C. Gen Stat. § 160D-60. (Amd. 0_ _- 23)

ARTICLE XV, SECTION 15-1507. HEARINGS.

C. The Secretary to the Board of Adjustment shall ensure the Commanders of Fort Bragg Liberty, Pope Field Army Airfield, and Simmons Army Airfield are notified of any application affecting the use of property located within five miles or less of the perimeter boundary of said bases in accordance with N.C. GEN. STAT. § 160D-601. (Amd. 0_ _- 23)



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

SUBJECT: CASE ZON-23-0018: TEXT AMENDMENT TO THE TOWN OF SPRING LAKE ZONING ORDINANCE TO UPDATE AND REFLECT THE NAME CHANGE OF FORT BRAGG MILITARY BASE TO FORT LIBERTY; SUBMITTED BY TOWN OF SPRING LAKE (APPLICANT). (SPRING LAKE)

ATTACHMENTS:

Description

Case ZON-23-0018

Type

Backup Material



PLANNING & INSPECTIONS

PLANNING STAFF REPORT
ZONING REGULATIONS- CASE # ZON-23-0018
Planning Board Meeting: July 18, 2023

Jurisdiction: Town of Spring Lake

EXPLANATION OF THE REQUEST

This request is a staff-driven comprehensive text amendment to the Town of Spring Lake Zoning Ordinance (Chapter 42 of the Spring Lake Municipal Code) to update and reflect the name change of Fort Bragg military garrison to Fort Liberty.

In response to the William M. (Mac) Thornberry National Defense Authorization Act adopted by the U.S. Congress and enacted on January 1, 2021, the U.S. Department of Defense Naming Commission was created and directed to "remove all names, symbols, displays, monuments, and paraphernalia that honor or commemorate the Confederate States of America or any person who served voluntarily with the Confederate States of America from all assets of the Department of Defense." This directive includes renaming Fort Bragg as well as eight other military installations or garrisons named after Confederate military leaders. The proposed text amendments are provided in this report.

STAFF RECOMMENDATION

In Case ZON-23-0018, Planning & Inspections Staff **recommends approval** of the text amendment and finds the request consistent with the 2030 Growth Vision Plan because, while specific land use plan policies do not address a comprehensive update to the Town of Spring Lake's Zoning Ordinance, a current ordinance that is in compliance with Federal law allows the Town and department to continue to provide efficient and effective services to achieve goals laid out not only in the 2030 Growth Vision Plan, but all detailed land use plans within the Town of Spring Lake. Approval of this text amendment is also reasonable and in the public interest as it is a comprehensive update to clarify standards and review processes for the public.

SPRING LAKE ZONING CODE AMENDMENTS

(Changes are shown in strike-through, under-score format)

Chapter 42, Article I, Section 42-8. - Definitions.

Fort Bragg: See "Fort Liberty".

Fort Liberty: The United States military reservation that is under the administrative control of the United States Army Garrison Fort Liberty. The term "Fort Liberty" shall also mean any sub-installation of the reservation under the operational control of the Garrison, including Pope Field, Simmons Army Airfield, and all other real property owned, leased, or managed by the United States that fall under the control of the Garrison and located within Cumberland County. (Amd. 0_- __- 23)

Chapter 42, Article XIII, Section 42-361. - Special use permits.

(2) Procedure. Special use permits shall be granted by the board of aldermen only those uses enumerated in section 42-63, concerning district use regulations, as special uses. Uses specified as a special use in the table shall be permitted only upon the issuance of a special use permit by the board of aldermen.

a. The owner or owners of all property included in the petition for a special use permit shall submit a complete application and three copies of a site plan (drawn in accordance with the specifications listed in section 42-167 to the administrative officer. The administrative officer will schedule the application to be heard by the board of aldermen in accordance with the adopted time schedule. The administrative officer shall also notify the commanders of Fort Bragg Liberty, Pope Field ~~Air Force Base~~, and Simmons Army Airfield of any application affecting the use of property located within five miles or less of the perimeter boundary of said bases in accordance with G.S. 160D-601(b). (Amd. 0_- __- 23)



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

SUBJECT: CASE ZON-23-0019: TEXT AMENDMENT TO THE CUMBERLAND COUNTY SUBDIVISION ORDINANCE TO UPDATE AND REFLECT THE NAME CHANGE OF FORT BRAGG MILITARY BASE TO FORT LIBERTY; SUBMITTED BY PLANNING & INSPECTIONS STAFF (APPLICANT).

ATTACHMENTS:

Description

Case ZON-23-0019

Type

Backup Material



PLANNING & INSPECTIONS

PLANNING STAFF REPORT

ZONING REGULATIONS- CASE # ZON-23-0019

Planning Board Meeting: July 18, 2023

Jurisdiction: Cumberland County

EXPLANATION OF THE REQUEST

This request is a staff-driven comprehensive text amendment to the Cumberland County Subdivision Ordinance to update and reflect the name change of Fort Bragg military garrison to Fort Liberty.

In response to the William M. (Mac) Thornberry National Defense Authorization Act adopted by the U.S. Congress and enacted on January 1, 2021, the U.S. Department of Defense Naming Commission was created and directed to "remove all names, symbols, displays, monuments, and paraphernalia that honor or commemorate the Confederate States of America or any person who served voluntarily with the Confederate States of America from all assets of the Department of Defense." This directive includes renaming Fort Bragg as well as eight other military installations or garrisons named after Confederate military leaders. The proposed text amendments are provided in this report.

STAFF RECOMMENDATION

In Case ZON-23-0019, Planning & Inspections Staff recommends approval of the text amendment and finds the request consistent with the 2030 Growth Vision Plan because, while specific land use plan policies do not address a comprehensive update to the County's Subdivision Ordinance, a current ordinance that is in compliance with Federal law allows the department to continue to provide efficient and effective services to achieve goals laid out not only in the 2030 Growth Vision Plan, but all detailed land use plans within the County. Approval of this text amendment is also reasonable and in the public interest as it is a comprehensive update to clarify standards and review processes for the public.

CUMBERLAND COUNTY SUBDIVISION CODE AMENDMENTS

(Changes are shown in strike-through, under-score format)

TABLE OF CONTENTS.

SEC. 2302. AREA-SPECIFIC STANDARDS

C. ~~Fort Bragg~~ Liberty Special Interest Area

ARTICLE XXI. SECTION. 2103. DEFINITIONS OF SPECIFIC TERMS AND WORDS

Fort Bragg: See "Fort Liberty".

Fort Liberty: The United States military reservation that is under the administrative control of the United States Army Garrison Fort Liberty. The term "Fort Liberty" shall also mean any sub-installation of the reservation under the operational control of the Garrison, including Pope Field, Simmons Army Airfield, and all other real property owned, leased, or managed by the United States that fall under the control of the Garrison and located within Cumberland County.

ARTICLE XXIII. SECTION 2302. AREA-SPECIFIC STANDARDS.

C. ~~Fort Bragg~~ Liberty Special Interest Area. Because of the location of known habitat and forage areas of the protected Red-Cockaded Woodpecker on the properties in and around the military reservations, the community, including the military, has a special interest in any subdivision or other development that occurs on the privately-owned properties in close proximity to the military bases. The official ~~Fort Bragg~~ Liberty Special Interest Area map, hereby adopted as part of this ordinance, shall be maintained by the Planning and Inspections Department and kept on file with the Clerk to the County Board of Commissioners – see Exhibit 6. Upon receipt for submission of any subdivision or other development subject to review under this ordinance and located within the ~~Fort Bragg~~ Liberty Special Interest Area, the Planning and Inspections Staff shall forward a copy of the preliminary plan to the military planner assigned to the affected military base and to the local office of the U.S. Fish and Wildlife Service, in addition to the other agencies involved in the review process. The military planner and the Fish and Wildlife representative will then assist the developer in identifying areas where trees should be maintained. While the owner is not obligated, the intent is to encourage clustering of developments in accordance with the special subdivision and development provisions of this ordinance or the County Zoning Ordinance, thus protecting the endangered woodpecker.



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

**SUBJECT: CASE ZNG-007-23: INITIAL ZONING OF 2.30+/- ACRES TO THE C(P)
PLANNED COMMERCIAL DISTRICT; LOCATED AT 0 CHICKENFOOT
RD REID 0423332619000; SUBMITTED BY THE TOWN OF HOPE MILLS
(AGENT) ON BEHALF OF FAYETTEVILLE (CHICKENFOOT) WW, LLC
(OWNER). (HOPE MILLS)**

ATTACHMENTS:

Description

Case ZNG-007-23

Type

Backup Material



STAFF REPORT

INITIAL ZONING CASE# ZNG-07-2023

Planning Board Meeting: 7-18-2023

Hope Mills Board Meeting: 8-21-2023

Address: 0 Chicken Foot Road

ZONING REQUEST: Initial Zoning to C(P) Planned Commercial District

The Town of Hope Mills staff received an annexation petition for 2.30 +/- acres of land tied to parcel identification number 0423-33-2619. The Hope Mills Board of Commissioners accepted the annexation petition adopting a resolution R2023-17 and set the public hearing for June 20, 2023 under annexation number A2023-05. The subject parcel is slated to be combined with a 7.06-acre vacant commercial parcel to the rear addressed as 5840 Chickenfoot Road which is located inside Town of Hope Mills limits. Plan review staff has worked diligently with the proposed developers to facilitate the submission of this annexation. Please refer to the attached memorandum from the Hope Mills Plan Review Committee for recommendations from all pertinent engineering and permit based departments. The location of the subject property is illustrated in Exhibit "A".

SUBJECT PROPERTY INFORMATION

OWNER/APPLICANT:

Town of Hope Mills (agent) on behalf of
Fayetteville (Chickenfoot) WW, LLC (owner)

ADDRESS/LOCATION: 0 Chickenfoot Road;
REID: 0423332619000

For additional information on
the site location, refer to Exhibit
"A"

SIZE:

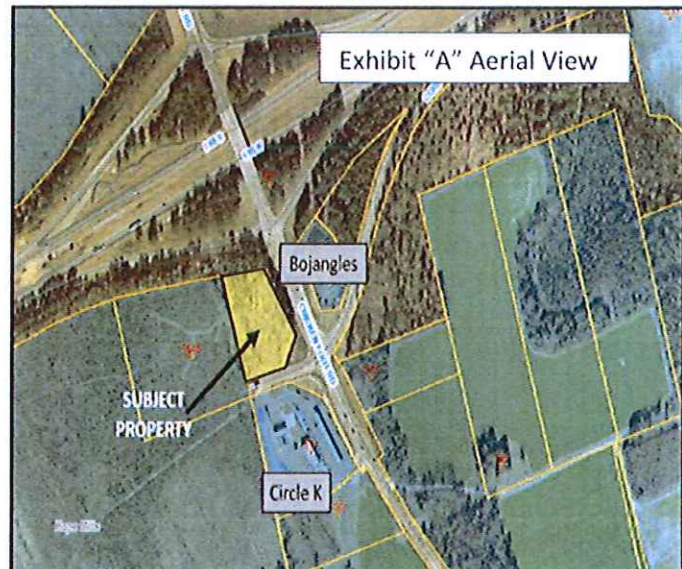
As stated above, the subject property is 2.30
acres in size with varying lengths of depth.

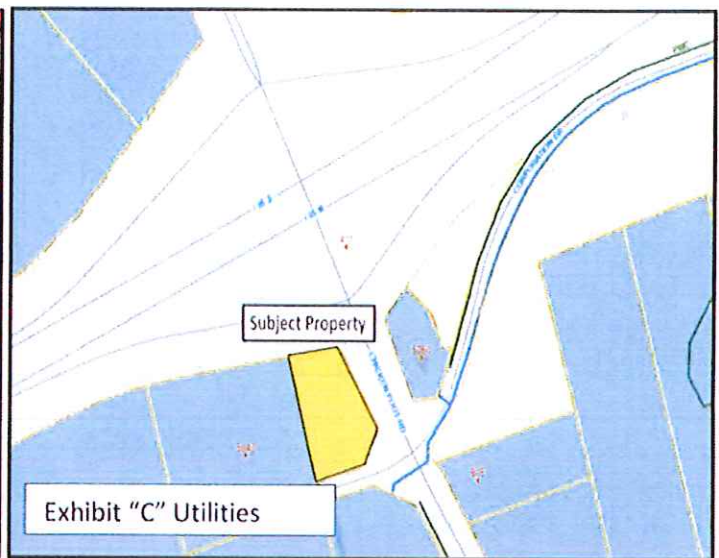
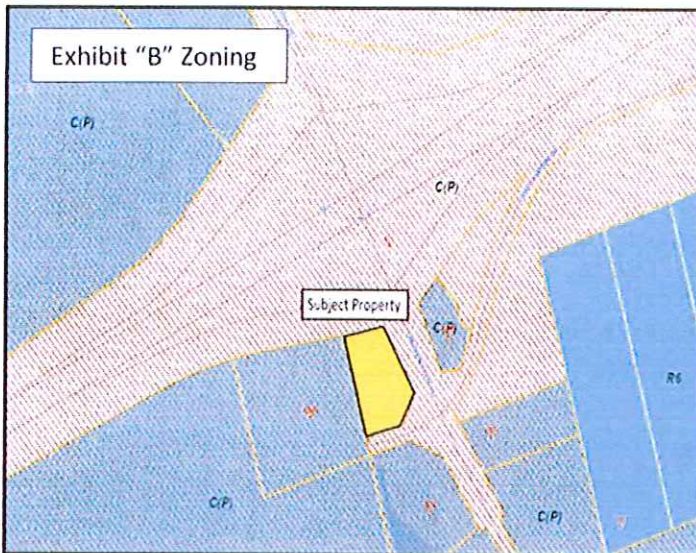
EXISTING ZONING: The subject property is
currently zoned under the C3 Commercial
District with the overall immediate surrounding
area also designated under C(P) Planned
Commercial District.

EXISTING LAND USE: The subject property is currently vacant.

SURROUNDING ZONING AND LAND USE: This property is completely surrounded by
commercially zoned properties. Refer to Exhibit "B" for zoning and surrounding land uses.

OTHER SITE CHARACTERISTICS: Exhibit "C" provides the location of water and sewer
availability.

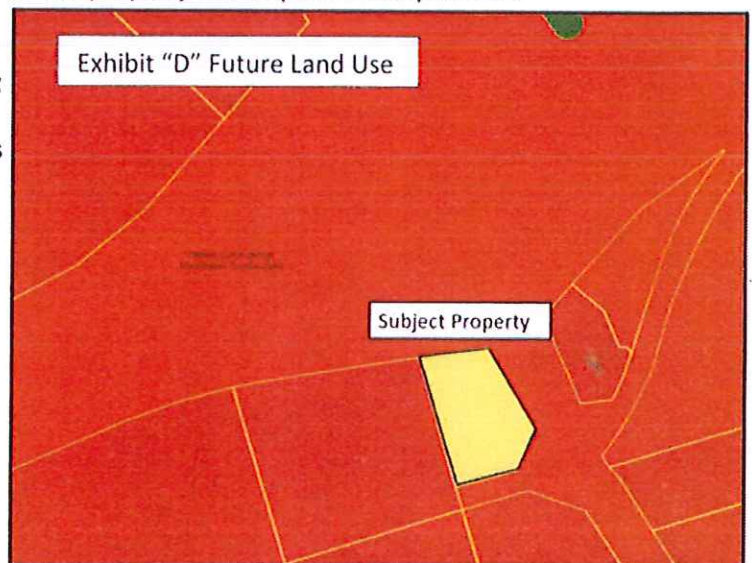




DEVELOPMENT REVIEW: The development of this property will require a site plan and development review.

COMPREHENSIVE DEVELOPMENT PLANS:

This site is located within the Southwest Cumberland Land Use Plan area (2013) and is designated as "Heavy Commercial". This request is consistent with the land use plan and is supported by staff as it is requested to be considered for Commercial use. Please refer to Exhibit "D" for additional information.



IMPACTS ON AREA FACILITIES

PUBLIC WORKS: When developed, the driveway permit will have to be obtained through NCDOT, otherwise, the regular Hope Mills Standards and Specifications will apply.

UTILITIES: The property will be served by PWC water.

STORMWATER: Will require Stormwater Management Permit application, is located in the Airport Overlay District and will require submittal of a Stormwater Management Permit Application.

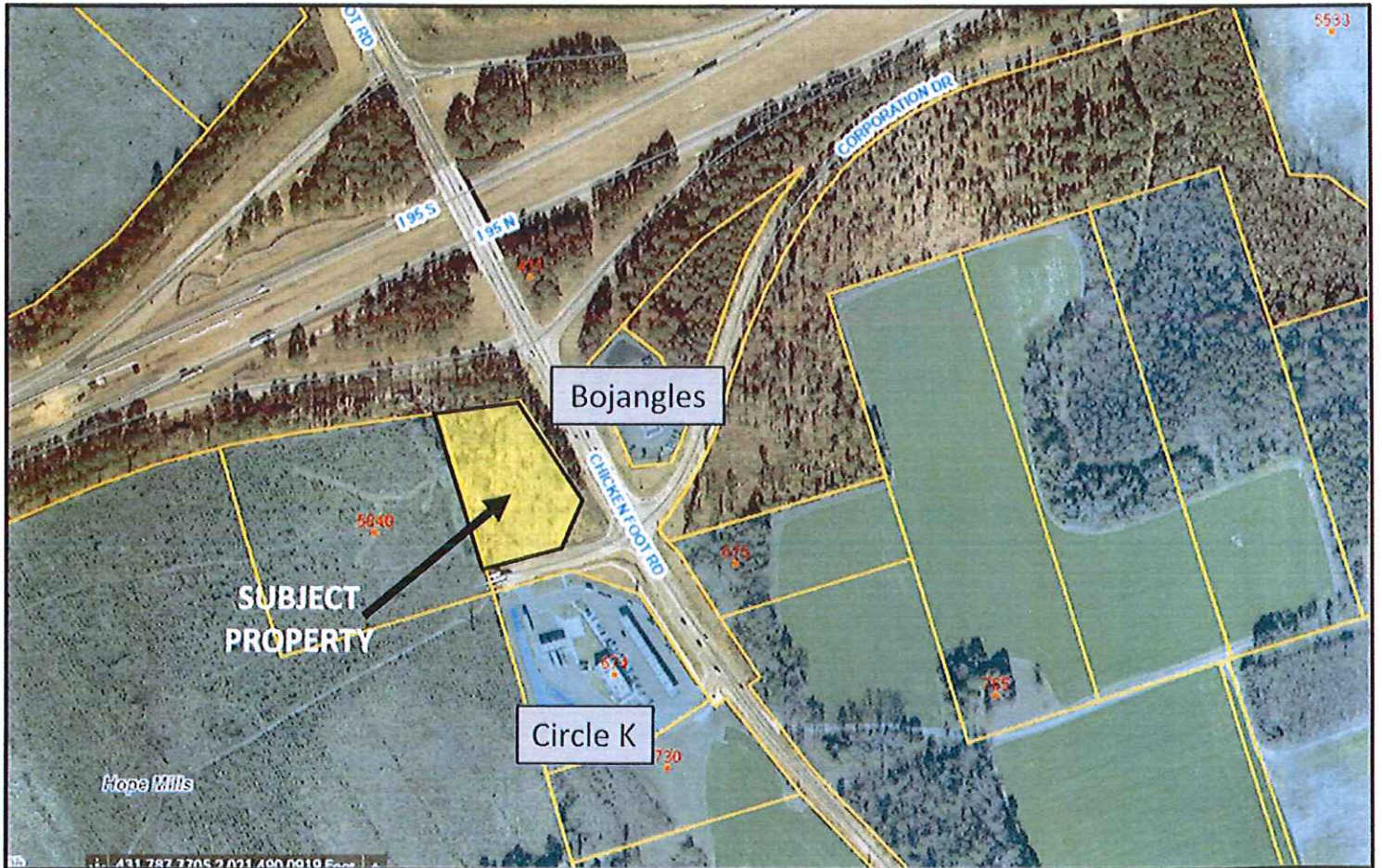
PLAN REVIEW COMMENTS: The Town of Hope Mills Plan Review team has no objections to this request.

SPECIAL OVERLAY DISTRICTS: The subject property is partially located within the Airport Overlay District.

CODE DEVIATIONS: None.

STAFF RECOMMENDATION

In ZNG-007-23, the Town of Hope Mills Planning staff **recommends approval** of the initial zoning request to the C(P) Planned Commercial District and finds that the request is consistent with the Southwest Cumberland Land Use Plan (2013) designation and complements the existing zoned properties adjacent to the subject property that are slated for similar developments. The economic and regional impact of the proposed development fits within the vision and long-term outlook of the area developed to the immediate south. Approval of the request is reasonable and in the public interest because the district requested is in harmony with surrounding existing uses and zoning.



Sketch Map ZNG-007-23



Town of Hope Mills

Planning Department

CASE NO.: ZNG-007-23

PLANNING BOARD

DATE: 7/18/2023

TOHM BOARD

MEETING DATE: 8/21/2023

DATE APPLICATION

SUBMITTED: 6/21/2023

RECEIPT NO.: N/A

RECEIVED BY: E.Weidner

APPLICATION FOR REZONING HOPE MILLS ZONING ORDINANCE

The following items are to be submitted with this completed application:

1. A copy of the *recorded* deed and/or plat;
2. If portion(s) of an existing tract is/are being submitted for rezoning, an accurate written legal description of only the area to be considered for the rezoning; and
3. A check made payable to "Town of Hope Mills" in the amount of \$ 0.
(See attached Fee Schedule).

Rezoning Procedure:

1. Complete application submitted by the applicant.
2. Notification to surrounding property owners.
3. Zoning Board hearing.
4. Re-notification of interested parties and adjacent property owners; public hearing advertisement in the newspaper.
5. Hope Mills Commissioners' public hearing (approximately two to four weeks after Planning Board public hearing)
6. If approved by the Hope Mills Commissioners, rezoning becomes effective immediately.

The Town Planning Staff may advise on zoning options, inform applicants of development requirements and answer questions regarding the application and rezoning process. For questions, call (910)424-4555. Hours of operation are 8:00 a.m. to 5:00 p.m., Monday through Friday.

NOTE: Any revisions, inaccuracies or errors to/on the application may cause the case to be delayed and re-scheduled for the next available Board meeting according to the Board's meeting schedule. Also, the application fee is *nonrefundable* once processing of the application has begun.

TO THE ZONING BOARD AND THE TOWN OF HOPE MILLS BOARD OF COMMISSIONERS, HOPE MILLS, NORTH CAROLINA:

I (We), the undersigned, hereby submit this application, and petition the Hope Mills Board of Commissioners to amend and to change the zoning map of the Town of Hope Mills as provided for under the provisions of the Hope Mills Zoning Ordinance. In support of this petition, the following facts are submitted:

1. Requested Initial Zoning to C(P) Planned Commercial Zoning for Initial Zoning

If the area is a portion of an existing parcel, a written metes and bounds description of only that portion to be considered for rezoning, including the exact acreage must accompany this application along with a copy of the recorded deed and/or plat. If more than one zoning classification is requested, a correct metes and bounds legal description, including acreage, for each bounded area must be submitted.

2. Address/location of property to be Rezoned: 0 Chicken Foot Road Hope Mills, NC

3. Parcel Identification Number (PIN #) of property: 0423-33-2619
(also known as Tax ID Number or Property Tax ID)

4. Acreage: 2.30 +/- acres Frontage: 296.5 +/- feet Depth: 260+

5. Water Provider: Well: _____ PWC: X

6. Septage Provider: Septic Tank _____ PWC X Other (name) _____

7. Deed Book 11737, Page(s) 0271 Cumberland County Register of Deeds. (Attach copy of deed of subject property as it appears in Registry).

8. Existing use(s) of property: Vacant

9. Proposed use(s) of the property: Fuel Station

10. Do you own any property adjacent to, including across the street from, the property being submitted for rezoning? Yes _____ No X
If yes, where? _____

11. Has a violation been issued on this property? Yes _____ No X

The Planning Staff is available for advice on completing this application; however, they are not available for completion of the application.

The undersigned hereby acknowledge that the Planning Staff has conferred with the petitioner or assigns, and the application as submitted is accurate and correct.

Fayetteville (Chickenfoot) WW, LLC
Property owner(s)' name (print or type)

361 Summit Blvd Ste 110 Birmingham, AL 35243
Complete mailing address of property owner(s)

Telephone number

Alternative telephone number

E-mail address

Fax number

Town of Hope Mills (Agent)
Agent, attorney, or applicant (other than property owner) (print or type)

5770 Rockfish Road Hope Mills, NC 28348
Complete mailing address of agent, attorney, or applicant

910-426-4103
Telephone number

Alternative telephone number

cmclaughlin@townofhopemills.com
E-mail address

Fax number


Owner's signature

Agent, attorney, or applicant's signature
(other than property owner)

Owner's signature

Upon submission, the contents of this application becomes "public record" and is available for review and/or copies upon request.



Town of Hope Mills Voluntary Annexation Packet

VOLUNTARY ANNEXATION SUBMITTAL REQUIREMENTS:

Only complete submittals will be processed. The following items are required to be submitted to the Town of Hope Mills for your application to be deemed complete:

- ☒ Original Petition Form Signed by ALL Owners of the property.
- ☒ Legal description of the area to be annexed in both hard and digital (Word) format.
- ☒ A complete copy of the last deed of record for each parcel of property to be annexed.
- ☒ 1 paper copy and 1 digital copy of the ***filed** annexation plat prepared by a registered land surveyor including the following information:
 - Title block:
Annexation Map for Town of Hope Mills
Annexation File # _____
 - Vicinity map showing location of property in relation to the primary corporate town limits, (indicate where corporate limits are adjacent to the property or the location of the closest point of the primary Town Limits)
 - Surveyors' certificate.
 - Plat book and page numbers.

CHECK PAYABLE TO TOWN OF HOPE MILLS IN THE AMOUNT OF \$500.00 FOR VOLUNTARY ANNEXATION FEE MUST BE SUBMITTED.

(The petition fee is waived for Voluntary Annexation Petitions that are initiated by the Town through the Water and/or Sewer Annexation Agreements.)

* (Per the Secretary of State's office said plat must be signed by a surveyor but is **not required to be sent through any approval process**. Per GS 47-30 paragraph G. and j. "The provisions of this section shall not apply to boundary plats of State lines, county lines, areas annexed by municipalities, nor to plats of municipal boundaries, whether or not required by law to be recorded.")



Town of Hope Mills
Voluntary Annexation Petition

For Town Clerk Use:
Annexation # _____

To the Board of Commissioners of the Town of Hope Mills:

We, the undersigned, being of all the owners of the real property described herein, respectfully request that the area described herein be annexed to the Town of Hope Mills pursuant to the provisions of G.S. 160A-31.

The area to be annexed is ☒ **contiguous** ☐ **non-contiguous** to the existing Town Limits of Hope Mills and the boundaries of such territory are as indicated below and on the attached map and description.

Property Information:

If only part of a parcel is included, then write "Part" after the Cumberland County Parcel Identification Number and Real Estate Identification Number (s).


Cumberland County Parcel Identification Number (s):
0423-33-2619 PART

Cumberland County Real Estate Identification Number (s):
0423332619000 PART

Acreage of Annexation Area: 2.2608 Existing Population: _____

Number of existing residential dwelling units: 0 Do you declare vested rights*? ☐ yes ☐ no

*We acknowledge that any zoning vested rights acquired pursuant to G.S. 160A-385.1 or G.S. 153A-344.1 must be declared and identified on this petition. We further acknowledge that failure to declare such rights on this petition shall result in a termination of vested rights previously acquired for the property. (If zoning vested rights are claimed, indicate "yes" and attach proof.)

Property Owner(s):	Address:	Signature:	Date:
<small>All property owners must sign this petition including husband and wife if jointly owned</small>			
<u>FAYETTEVILLE</u> <u>(CHICKENFOOT) WW, LLC</u>	<u>361 Summit Blvd, Ste 110,</u> <u>Birmingham, AL 35243</u>	 <u>Chad J. Post, Authorized Agent</u>	<u>May 19, 2023</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

*Vested Right – Means the right to undertake and complete the development and use of property under the terms and conditions of an approved site-specific development plan or an approved phased development plan. A vested right shall be deemed established with respect to any property upon valid approval, or conditional approval, of a site-specific development plan or phased development plan, following notice and public hearing by the county with jurisdiction over the property.

INTERESTED PARTIES

PROPERTY: ...
 COUNTY: ...
 TOWNSHIP: ...
 RANGE: ...
 SECTION: ...

REVIEW OFFICER

...
 ...
 ...

INTERSTATE 95

...
 ...
 ...

CHICKEN FOOT ROAD

CORPORATION DRIVE

LEGEND

...
 ...
 ...

NOTES

...
 ...
 ...

SURVEYOR'S CERTIFICATE

...
 ...
 ...

AREA ANNEXED INTO THE TOWN OF HOPE, ILLINOIS

ANNEXATION MAP FOR TOWN OF HOPE, ILLINOIS

...
 ...
 ...

Annexation No. A2023-17
WAWA
Chickenfoot Rd.& Corporation Dr.
Hope Mills, NC 28348

RESOLUTION FIXING DATE OF PUBLIC HEARING ON QUESTION OF
ANNEXATION PURSUANT TO G.S. 160A-58.2
RESOLUTION NO. R2023-17

WHEREAS a petition requesting annexation of the area described herein has been received; and

WHEREAS the Board of Commissioners has by resolution directed the Town Clerk to investigate the sufficiency of the petition; and

WHEREAS certification by the Town Clerk as to the sufficiency of the petition has been made;

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of the Town of Hope Mills, North Carolina that:

Section 1. A public hearing on the question of annexation of the area described herein will be held at Town Hall, 5770 Rockfish Road, Bill Luther Board Meeting Room #120, at 7:00 p.m., June 20, 2023.

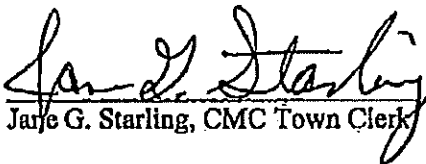
Section 2. The area proposed for annexation is described as follows:

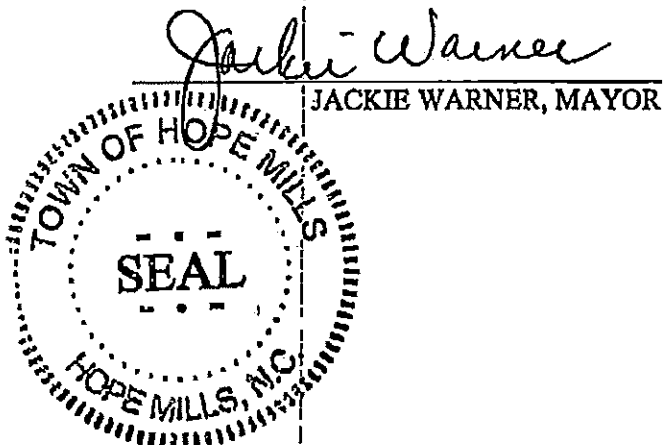
BEING REID # 0423332619000 (PART) containing 2.3007 acres, more or less, duly recorded in Deed Book 11737, Page 271, Cumberland County Registry, North Carolina. This is a contiguous annexation.

Section 3. Notice of the public hearing shall be published in the Fayetteville Observer, a newspaper having general circulation in the Town of Hope Mills, at least ten (10) days prior to the date of the public hearing.

ADOPTED this 5th Day of June, 2023.

ATTEST:


Jarje G. Starling, CMC Town Clerk





MEMORANDUM

DATE: June 13, 2023

TO: Chancer F. McLaughlin – Interim Town Manager

FROM: Stephen F. Dollinger – Police Chief
Elisabeth Brown – Stormwater Administrator
Don Sisko – Public Works Director
Chuck Hodges – Fire Chief
Robert Carter – Fire Marshall
Kenny Tatum – Chief Building inspector
Emily Weidner – Town Planner

SUBJECT: Chickenfoot Road and Corporation Drive
REQUEST: Non-contiguous Annexation
PARCEL#: 0423-33-2619
SIZE: 2.3007 acres
LOCATION: Northwest intersection of Chickenfoot Road and Corporation Drive.

Police:

Recommendation: APPROVAL
Comments: No objections received.

Public Works:

Recommendation: APPROVAL
Comments: Any access to Corporation Drive is regulated by NCDOT. All interior roadways to be designed IAW the Town of Hope Mills Standards and Specifications. Sidewalks will be required along Corporation Drive.

Stormwater:

Recommendation: APPROVAL
Comments: Stormwater Management Permit Application is required.

Planning & Zoning:

Recommendation: APPROVAL

Comments: Planning staff has met extensively with the developers of this proposed project. We are in support of this request and are facilitating the submission of the initial zoning request. In coordination with the developer, staff will be requesting the C(P) Planned Commercial district for this development through the initial zoning process.

Fire:

Recommendation: APPROVAL

Comments: Must comply with state fire code.

Inspections:

Recommendation: APPROVAL

Comments: No objections received.



STAFF REPORT

CASE# N/A

Planning Board Meeting: N/A

Hope Mills Board Meeting: 6/20/2023

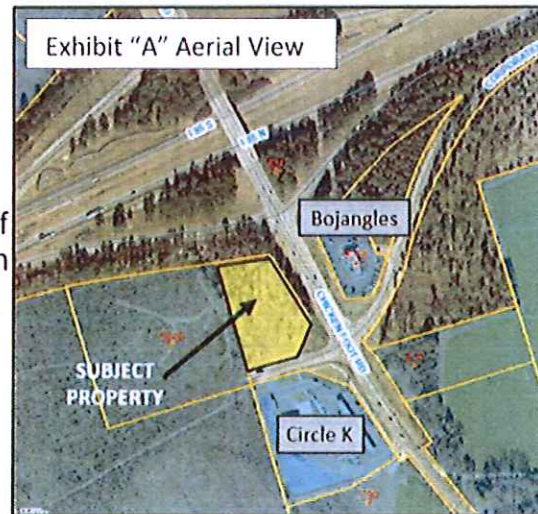
Address: Corner of Chicken Foot Road and Corporation Drive

REQUEST

The following memo outlines a request from staff to begin the initial zoning process for a development under consideration for annexation.

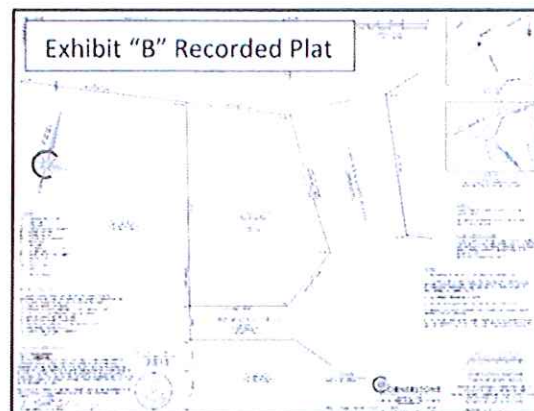
BACKGROUND

At the June 5, 2023 board meeting, the Hope Mills Board of Commissioners moved to set the public hearing for Resolution R2022-17 for June 20, 2022. The resolution is tied to annexation petition A2022-05 for the consideration of the noncontiguous annexation of 2.3007 acres of land at the northwest intersection of Chickenfoot Road and Corporation Drive. The parcel in question is tied to PIN# 0423-33-2619 and is slated to be combined with a 7.06-acre commercial parcel to the rear addressed as 5840 Chickenfoot Road. Plan review staff has worked diligently with the proposed developers to facilitate the submission of this annexation. The location of the subject property is illustrated in Exhibit "A".



STAFF RECOMMENDATION/REQUEST

Please refer to the attached memorandum from the Town of Hope Mills Plan Review staff outlining recommendations from Planning, Fire, Police, Public Works, Stormwater, and Inspections. Planning staff is requesting authorization to begin the initial zoning process to designate the development under the C(P) Planned Commercial district. The recorded plat is illustrated in Exhibit "B"



Owner	Street	City	State	Zip
Fayetteville (Chickenfoot) WW, LLC	361 Summit Blvd Ste 110	Birmingham	AL	35243
Joseph Riddle III, Trina Riddle & Cameron Company LLC	PO Box 53729	Fayetteville	NC	28305
Hope Springs Real Estate Holdings, LLC	PO Box 11266	Chandler	AZ	85248
AOM Investments, LLC	PO Box 361	Fayetteville	NC	28302



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

SUBJECT: CASE ZON-23-0012: REZONING FROM R6 RESIDENTIAL DISTRICT TO C-1 LOCAL BUSINESS DISTRICT OR TO A MORE RESTRICTIVE ZONING DISTRICT FOR 1.20 +/- ACRES; LOCATED AT 206 ZIGLAR CIRCLE, SUBMITTED BY RAYMOND SHARP (APPLICANT) ON BEHALF OF SHIRLEY PARKER NEWSOME TRUSTEE (OWNER). (SPRING LAKE)

ATTACHMENTS:

Description

Case ZON-23-0012

Type

Backup Material

REQUEST

Rezoning R-6 to C-1

Applicant requests a rezoning from R-6 Residential District to C-1 Local Business District for approximately 1.28 acres located at 206 Ziglar Circle and at the southeastern corner of the intersection of Ziglar Circle and N. Bragg Blvd. within the Town of Spring Lake, as shown within Exhibit "A". The intent of the applicant is to develop the property for a daycare, which is a permitted use for the C-1 District. The subject site contains adequate land area to meet the minimum lot size and location standards for the C-1 District.

PROPERTY INFORMATION

OWNER/APPLICANT: Shirley Parker Newsome Trustee (owner) / Raymond Sharp (agent)

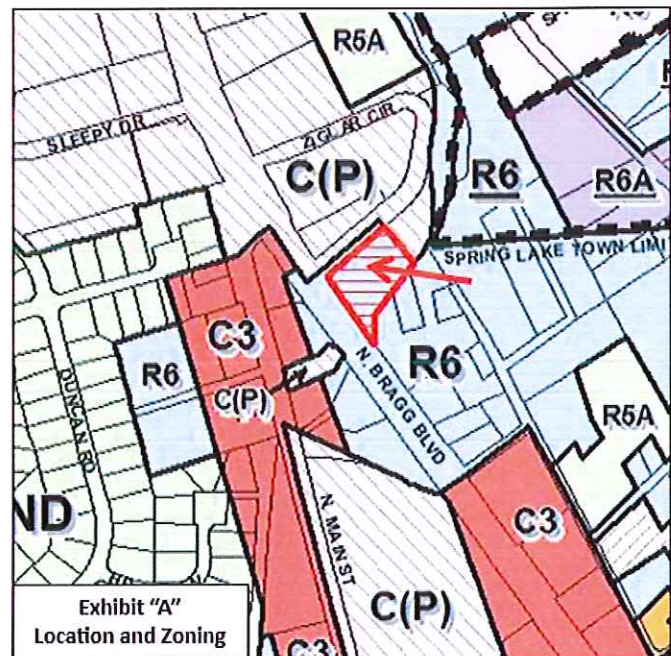
ADDRESS/LOCATION: Refer to Exhibit "A", Location and Zoning Map.

REID number: 0501693203000

SIZE: 1.28 +/- acres. Road frontage along Ziglar Circle is 243 feet, and 256 feet along N. Bragg Blvd. The property has a depth of approximately 250 feet.

EXISTING ZONING: The subject property is currently zoned R-6 Residential District. Minimum lot size for this district is 6,000 square feet. This district is intended for a mix of single- and multi-family dwellings.

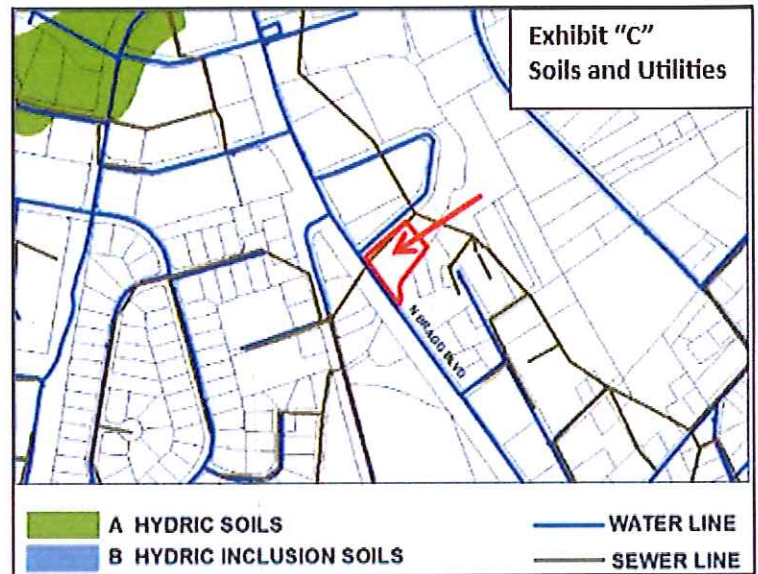
EXISTING LAND USE: The property is currently vacant. Exhibit "B" shows the existing use of the subject property.



SURROUNDING LAND USE: Exhibit "B" illustrates the following:

- **North:** Commercial retail and wooded lands
- **East:** A creek abuts the eastern property line; wooded lands and single family homes
- **West:** Farmland
- **South:** Wooded lands and single family homes

OTHER SITE CHARACTERISTICS: The site is not located in a Watershed and is not within a Flood Zone Hazard Area. The subject property, as delineated in Exhibit "C", does not have hydric or hydric inclusion soils present.

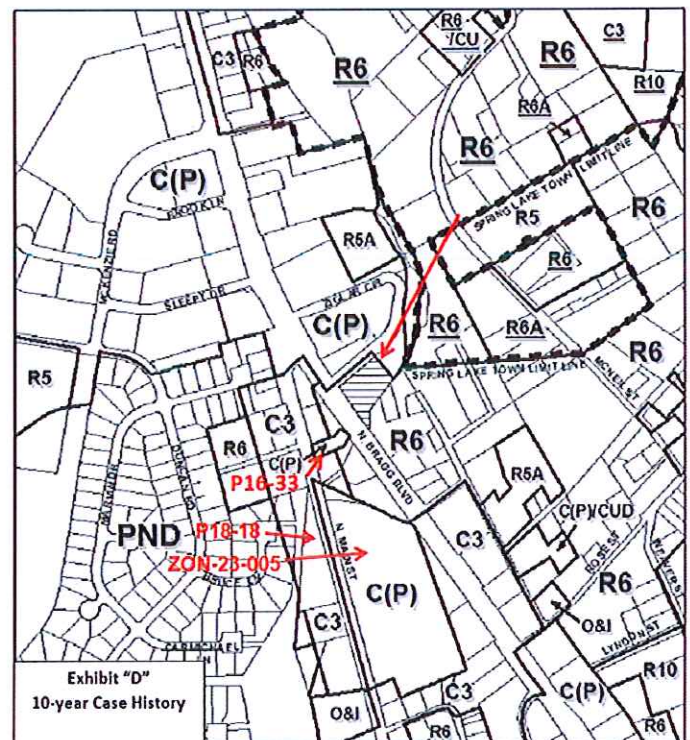


TEN YEAR ZONE CASE HISTORY:

Exhibit "D" denotes the location of the zoning case history described below.

- **P16-33:** R6 & C-3/MSOD TO C-3; approved MSOD removal & C(P)
- **P18-18:** removal of MSOD, R6 & C-3 TO C-3; approved
- **ZON-23-0005:** C(P) & C-3 to R5A/CZ; Denied

DEVELOPMENT REVIEW: Site Plan review by County Planning & Inspections will be required before any development. The Town of Spring Lake zoning and subdivision ordinances will apply to any proposed development.



DIMENSIONAL PROVISIONS FOR REQUESTED DISTRICT:

Minimum Standard	R-6 (Existing Zoning)	C-1 (Proposed)
Front Yard Setback	25 feet	45 feet
Side Yard Setback	10 feet (one story) 12 feet (two story)	15 feet
Rear Yard Setback	30 feet	20 feet
Lot Area	6,000 sq. ft.	No minimum required
Lot Width	60 ft.'	n/a

Source: Town of Spring Lake Zoning Code

Development Potential:

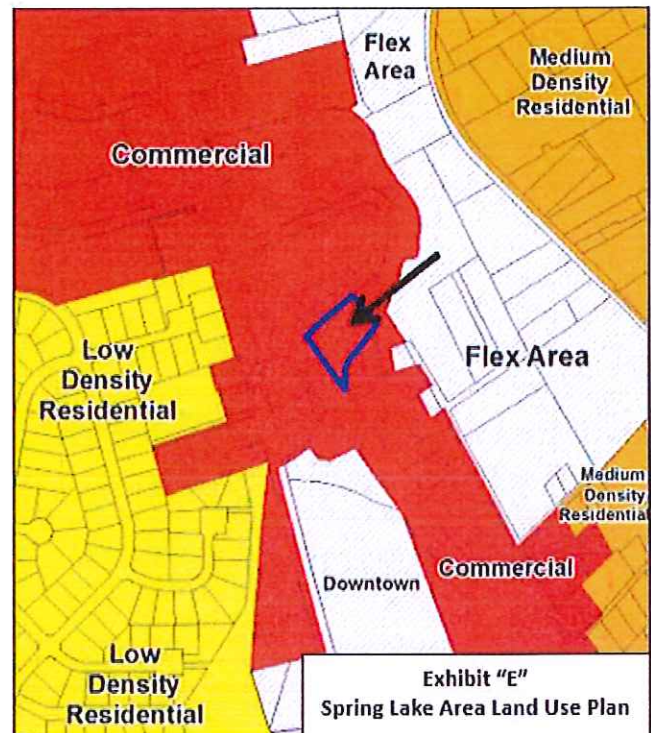
Existing Zoning (R-6)	Proposed Zoning (C-1)
1 dwelling unit per 6,000 sq. ft.; 5,000 sq. ft. for each additional unit	Not applicable

- Lot count may be rounded-up when a fraction occurs. When any requirement of this ordinance results in a fraction of a unit, a fraction of one-half or more shall be considered a whole unit, and a fraction of less than one-half shall be disregarded.

COMPREHENSIVE PLANS: This property is located within the Spring Lake Area Land Use Plan (2022), as shown in Exhibit "E". The future land use designation of this property is "Commercial". Associated Zoning Districts are: C-1, C-3, C(P), HS(P). **The proposed rezoning request is consistent with the adopted land use plan.**

APPLICABLE PLAN GOALS/POLICIES/

- The specific type of commercial district and the effects on neighborhood access, traffic, and character should be considered on fringes of existing and commercial zoning.
- Adopt building materials requirements in town and in the Spring Lake MIA, such as the Harnett County Highway Corridor Overlay District to improve building uniformity and appearance.



IMPACTS ON LOCAL INFRASTRUCTURE AND/OR FACILITIES

UTILITIES: Water and sewer lines are available adjacent to the subject property and development of the property will require connection to public water and sewer. It is the applicant's responsibility to determine if this utility provider (Town of Spring Lake) will serve their development. Utilities for water and sewer are shown on Exhibit "C".

TRANSPORTATION: The subject property sits at Ziglar Circle and is identified as a local road in the Metropolitan Transportation Plan. There is a project identified in the Transportation Improvement Program as U-5802, SR 1451 (Manchester Road) to NC 210 (Lillington Highway) -- Improve existing multi-lane facility by adding access management and other improvements. In addition, Ziglar Circle has no AADT 2021 and no road capacity data available. Due to lack of data and the small scale, the new zoning request does not demand a trip generation. The new development should not generate enough traffic to significantly impact Ziglar Circle.

NC Department of Transportation (Div. 6) provides the following comments: Site should be served from Ziglar Street (Spring Lake) with no additional access to NC Highway 24/87 (Bragg Boulevard). Access driveway should be located as far from NC Highway 24/87 as practical and provide vehicular storage on site as not to cause congestion along NC Highway 24/87). Curb cut (driveway) closure will require encroachment agreement with applicable bonding.

SCHOOLS CAPACITY/ENROLLMENT:

School	Capacity	Enrollment
WT Brown Elementary	667	550
Spring Lake Middle	664	600
Pine Forest High	1712	1713

ECONOMIC DEVELOPMENT: Fayetteville Cumberland County Economic Development Corporation has reviewed the request and had no objection to the proposed request.

EMERGENCY SERVICES: Spring Lake Fire Marshal's office has reviewed the request and has no objections to the rezoning request.

SPECIAL DISTRICTS: The property is not located within the Fayetteville Regional Airport Overlay District but is within five miles of Fort Liberty Military Base. RLUAC has no objections to the rezoning request.

CONDITIONS OF APPROVAL: This is a conventional zoning and there are no conditions at this time.

STAFF RECOMMENDATION

In Case ZON-23-0012, Planning and Inspections staff **recommends approval** of the rezoning request from R-6 Residential District to C-1 Local Business District. Staff finds the request is consistent with the Spring Lake Area Land Use Plan which calls for "Commercial" at this location. Staff finds that the request is reasonable and in the public interest as it is compatible to and in harmony with the character of the surrounding area.

Attachments:
Notification Mailing List
Application

ATTACHMENT – MAILING LIST

BIRTS-FOWLKES, CARA-LYNN;MARKS, ALICIA M;JONES, ELLA DELORIS;WHARTON, ALTHEA FAYE;FARMER, LENDA VONITA;BIRTS, CAROLYN YVONNE;MARKS, PAMELA ELAINE	3632 RANSOM PL	ALEXANDRIA, VA 22306
BATES, FRANCES W;BATES, WAL	3357 GREAT NECK RD	AMITYVILLE, NY 11701
WHITE, LUCILLE	1605 FOREST LN	BAINSBIDGE, GA 39817
SLATER, JAMES	75 BRAFFORD ESTATES DR	CAMERON, NC 28326
STAR PETROLEUM LLC	508 ALLIANCE CIR	CARY, NC 27519
MGB PARTNERS LLC	PO BOX 4551	CARY, NC 27519
CAROLINA TELEPHONE & TELEGRAPH COMPANY	PO BOX 182575	COLUMBUS, OH 43218
FIELDS, ELEANOR LEACH	3413 DALTON ST	COPPERAS COVE, TX 76522
WOODS INVESTMENT ENTERPRISE LLC	1264 OBJ RD	DUNN, NC 28334
GRIMES, YONG	2908 MERRIEFIELD CT	FAYETTEVILLE, NC 28301
MDN RENTALS LLC	2014 BRAGG BLV	FAYETTEVILLE, NC 28303
BOFILL, JAMES	445 HALLMARK RD	FAYETTEVILLE, NC 28303
TIANITECH HVAC & APPLIANCES, LLC	5623 DODGE DR	FAYETTEVILLE, NC 28303
COUSIN HOLDINGS LLC	800 PAMALEE DR	FAYETTEVILLE, NC 28303
JONES, WILTON C;W C JONES INVESTMENT COMPANY	951 S MCPHERSON CHURCH RD #201	FAYETTEVILLE, NC 28303
MARKS, PAMELA ELAINE;WHARTON, ALTHEA FAYE;BIRTS, CAROLYN YVONNE;JONES, ELLA DELORIS;FARMER, GLENDA VONITA		
BELL, RITA MANNING;BELL, WILBERT R	337 LARCHMONT RD	FAYETTEVILLE, NC 28311
AKERS PROPERTIES LLC	445 SHORELINE DR	FAYETTEVILLE, NC 28311
DAVIS, JOHNNIE C;DAVIS, VEORAH B	624 PLEASANT LOOP	FAYETTEVILLE, NC 28311
WORTHY REAL ESTATE LLC	1568 RIM RD	FAYETTEVILLE, NC 28314
THE FRANK K AND JACQUELINE W HARNEY FAMILY FOUNDATION	6320 LYNETTE CIR	FAYETTEVILLE, NC 28314
NEWSOME, SHIRLEY PARKER TRUSTEE	413 SWAN CREEK RD	FT WASHINGTON, MD 20774
LEACH, EARL	4616 BOONE TRAIL	MILLERS CREEK, NC 28651
HINNANT, JAMES;HINNANT, PENNAPA	222 HARVARD RD	PEMBERTON, NJ 08068
SPRING, LAKE ASSEMBLY OF GOD	61 NASSAU LN	SANFORD, NC 27332
JONES, COLON;MCBRIDE, PETRONIA;CLAYTON, SHARION;MCMILLAN, CIKY	105 STRICKLAND ST	SPRING LAKE, NC 28390
JONES;LEACH, ANTHONY		
JONES, JIMMIE	108 ALEXANDER LN	SPRING LAKE, NC 28390
WILLIAMS, EVELYN ANNETTE	111 ALEXANDER LN	SPRING LAKE, NC 28390
YANCEY, WILLIAM H;YANCEY, CHIN TOK	113 ALEXANDER ST	SPRING LAKE, NC 28390
SKINNER-ENCISO, FERNANDO J	118 BRUCE LN	SPRING LAKE, NC 28390
TOWN OF SPRING LAKE	124 STRICKLAND DR	SPRING LAKE, NC 28390
ROSA, JULIO M;ROSA, IRENE MARIE	300 RUTH ST	SPRING LAKE, NC 28390
JONES, THOMAS L	310 ZIGLAR CIR	SPRING LAKE, NC 28390
OGARRA, JAMES P	318 HENDON ST	SPRING LAKE, NC 28390
WALLACE, LAKITA S;WALLACE, ANTHONY D	614 DUNCAN RD	SPRING LAKE, NC 28390
HART, JAMES E	712 N BRAGG BLV	SPRING LAKE, NC 28390
JONES, LILLIAN	714 A N MAIN ST	SPRING LAKE, NC 28390
HINNANT, JAMES;HINNANT, PENNAPA	717 MONT DR	SPRING LAKE, NC 28390
SHEETS, DELIA HARDISON	801 N MAIN STREET	SPRING LAKE, NC 28390
OGARRA, JAMES P	997 N BRAGG BLVD	SPRING LAKE, NC 28390
B B C ENTERPRISES;LAKETREE INC	PO BOX 1016	SPRING LAKE, NC 28390
SCOTT, MABEL MCLEAN	PO BOX 766	SPRING LAKE, NC 28390
GERMAN, JOHN R;JENNIFER, M	6105 WELSHIRE CT	UPPER MARLBORO, MD 20772
CROCKER, PATRICIA ANN	703 ROSEBUD CT	VASS, NC 28394
	201 CHESHIRE DR	WARNER ROBINS, GA 31088

ATTACHMENT: APPLICATION



2547 Ravenhill Drive, Suite 100
Fayetteville, NC 28303
Office: (910) 864-2626
Fax: (910) 221-4500
Website: FranklinJohnsonCommercial.com

David Moon
Deputy Director of Planning & Inspections
Cumberland County NC

July 05, 2023

To whom it may concern,

Sincerely,

As owner of the 1.2 acres located at 206 Ziglar Circle, PIN: 0501-69-3203, currently zoned R6, I would like to suggest to the board that the lot be rezoned to C1 to allow for the development of a "Day Care" facility.

Shirley Parker Newsome

DocuSigned by:
Shirley P. Newsome

signature



TOWN OF SPRING LAKE
—◆—
BOARD OF ALDERMEN

CASE #: _____

PLANNING BOARD
MEETING DATE: _____

DATE APPLICATION
SUBMITTED: _____

RECEIPT #: _____

RECEIVED BY: _____

Application for
**TOWN OF SPRING LAKE
REZONING REQUEST**

The following items are to be submitted with the completed application:

1. A copy of the *recorded* deed and/or plat.
2. If a portion(s) of the property is being considered for rezoning, an accurate written legal description of only the area to be considered;
3. A check made payable to "Cumberland County" in the amount of \$ 450.00.
(See attached Fee Schedule).

Rezoning Procedure:

1. Completed application submitted by the applicant.
2. Notification to surrounding property owners.
3. Joint Planning Board public hearing.
4. Re-notification of interested parties / public hearing advertisement in the newspaper.
5. Town of Spring Lake Board of Aldermen public hearing (approximately four weeks after Joint Planning Board public hearing).
6. If approved by the Board of Aldermen, rezoning becomes effective immediately.

The County Planning Staff will advise on zoning options, inform applicants of development requirements and answer questions regarding the application and rezoning process. For questions or assistance, call the Land Use Codes Section at (910)678-7603 or (910)678-7609. Hours of operation are 8:00 a.m. to 5:00 p.m., Monday through Friday.

NOTE: Any revisions, inaccuracies or errors to the application may cause the case to be delayed and will be scheduled for the next available Joint Planning Board meeting according to the Board's meeting schedule. Also, the application fee is *nonrefundable*.

Local Code Reference: Town of Spring Lake Chapter 42-Zoning

TO THE CUMBERLAND COUNTY JOINT PLANNING BOARD AND THE BOARD OF COUNTY COMMISSIONERS OF CUMBERLAND COUNTY, NC:

I (We), the undersigned, hereby submit this application, and petition the County Commissioners to amend and to change the zoning map of the County of Cumberland as provided for under the provisions of the County Zoning Ordinance. In support of this petition, the following facts are submitted:

1. Requested Rezoning from R6 to C(P)
2. Address of Property to be Rezoned: 206 Ziglar Circle Spring Lake, NC 28390
3. Location of Property: 206 Ziglar Circle Spring Lake, NC 28390
4. Parcel Identification Number (PIN #) of subject property: 0501-69-3203
(also known as Tax ID Number or Property Tax ID)
5. Acreage: 1.28 Frontage: 256 ft. Depth: 243 ft.
6. Water Provider: Well: _____ PWC: _____ Other (name): Spring Lake water
7. Septage Provider: Septic Tank N/A ~~PWC~~ Spring Lake Sewer
8. Deed Book 11626, Page(s) 0309, Cumberland County Registry. (Attach copy of deed of subject property as it appears in Registry).
9. Existing use of property: Residential
10. Proposed use(s) of the property: Daycare
11. Do you own any property adjacent to or across the street from this property?
Yes _____ No x If yes, where? N/A
12. Has a violation been issued on this property? Yes _____ No x

A copy of the recorded deed(s) and/or recorded plat map(s) must be provided. If the area is a portion of a parcel, a written legal description by metes and bounds, showing acreage must accompany the deeds and/or plat. If more than one zoning classification is requested, a correct metes and bounds legal description, including acreage, for each bounded area must be submitted.

The County Planning Staff is available for advice on completing this application; however, they are not authorized to complete the application.

The undersigned hereby acknowledge that the County Planning Staff has conferred with the petitioner or assigns, and the application as submitted is accurate and correct.

The Larry Gene and Shirley Parker Newsome Trust

NAME OF OWNER(S) (PRINT OR TYPE)

4616 Boone Trail, Millers Creek, NC 28651

ADDRESS OF OWNER(S)

ranews@mail.com

E-MAIL

910-308-5748

HOME TELEPHONE #

WORK TELEPHONE #

Raymond Sharp

NAME OF AGENT, ATTORNEY, APPLICANT (PRINT OR TYPE)

150 N. McPherson Church Rd. Fayetteville, NC 28303

ADDRESS OF AGENT, ATTORNEY, APPLICANT

raymond@grantmurrayre.com

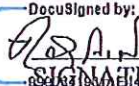
E-MAIL

910-987-7511

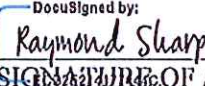
HOME TELEPHONE #

910-758-8322

WORK TELEPHONE #

DocuSigned by:


SIGNATURE OF OWNER(S)

DocuSigned by:

SIGNATURE OF AGENT, ATTORNEY
OR APPLICANT

SIGNATURE OF OWNER(S)

Upon submission, the content of this application becomes "public record".



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

SUBJECT: CASE ZON-23-0014: CONDITIONAL REZONING FROM C1(P) PLANNED LOCAL BUSINESS DISTRICT AND M(P) PLANNED INDUSTRIAL DISTRICT TO M(P)/CZ PLANNED INDUSTRIAL DISTRICT CONDITIONAL ZONING OR A MORE RESTRICTIVE ZONING DISTRICT FOR 10.58 +/- ACRES, LOCATED AT THE NORTHWEST CORNER OF MIDDLE RIVER LOOP ROAD AND RIVER ROAD, SUBMITTED BY GARRET FULCHER (AGENT) ON BEHALF OF FULCHER REAL ESTATE, LLC (OWNER).

ATTACHMENTS:

Description	Type
Case ZON-23-0014	Backup Material

REQUEST

Rezoning C1(P) & M(P) to M(P)/CZ

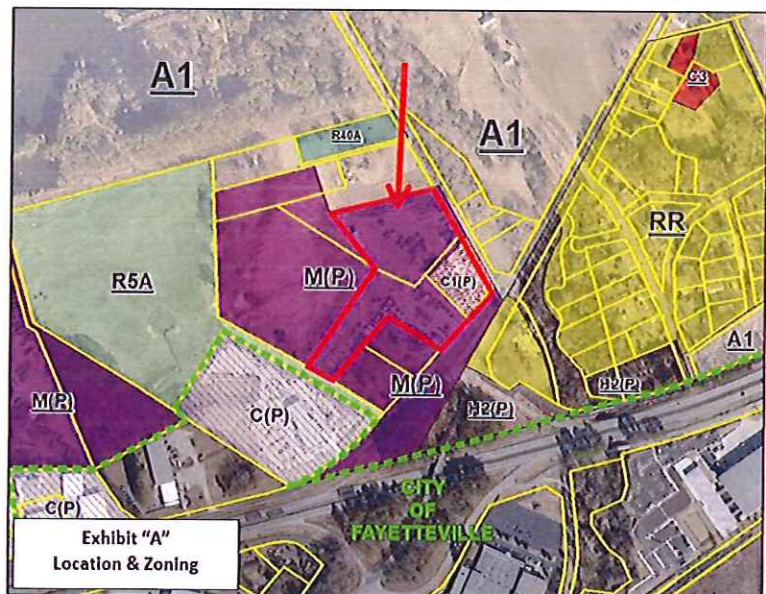
Applicant requests a conditional rezoning from C1(P) Planned Local Business District and M(P) Planned Industrial District to M(P)/CZ Planned Industrial District Conditional Zoning or to a more restrictive zoning district for 10.58 +/- acres, located at the northwest corner of Middle River Loop Road and River Road, as shown in Exhibit "A". Based on a need to expand the existing power transmission line & electrical contractor business, the owner desires to expand the laydown yard to accommodate additional equipment storage, more service vehicle and bucket truck parking, and a new vehicle maintenance building. An existing company office building will also be expanded. Further, the applicant desires to eliminate split zoning on the property by rezoning the C1(P) property to M(P), consolidating the property into a single zoning category. A conditional zoning site plan and condition as of approval are provided in this report.

PROPERTY INFORMATION

OWNER/APPLICANT: Fulcher Real Estate, LLC (Owner); Garret Fulcher, Member Manager.

ADDRESS/LOCATION: Refer to Exhibit "A", Location and Zoning Map. REID number: 0447686172000

SIZE: 10.58 +/- acres previously within three parcels. The parcels have been recombined and recorded with the Register of Deeds. Road frontage along River Road is 590 feet; road frontage along Middle River Loop is 408 feet. The property has a varying depth due to its irregular shape but is approximately 901 feet in length at its deepest point.



EXISTING ZONING: The subject property is currently zoned C1(P) Planned Local Business District and M(P) Planned Industrial District. C1(P) District is designed to cater to the ordinary shopping needs of the immediate neighborhood with emphasis on convenience goods. This district is customarily located adjacent to an arterial street and generally surrounded by residential areas.

The subject property is also currently zoned M(P) Planned Industrial District. This district is designed primarily for basic manufacturing processing industries, all of which normally create a high degree of nuisance and are not generally compatible with surrounding or abutting residential or commercial areas. The general intent of this district is to permit uses confined to service, wholesaling, manufacturing, fabrication, and processing activities that can be carried on in an unobtrusive manner characterized by low concentration and limited external effects with suitable open spaces, landscaping, parking and service areas. This district is customarily located on larger tracts of land with good highway and rail access buffered from residential districts by other more compatible uses. Commercial activities are not permitted except those having only limited contact with the general public and those not involving the sale of

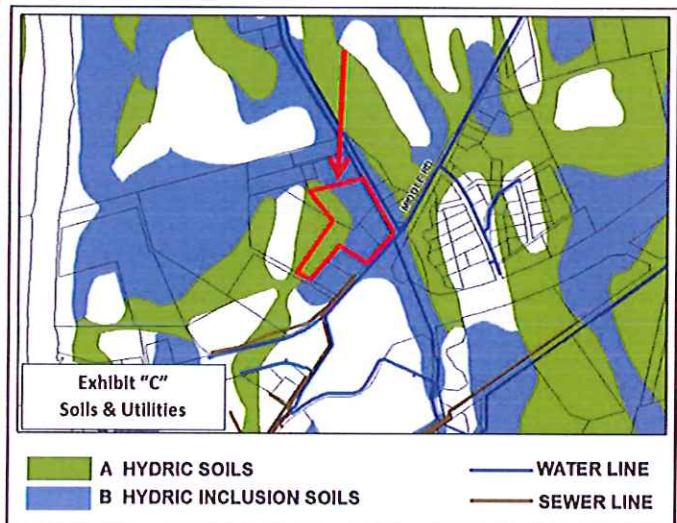
merchandise at retail except for items produced on the premises or for the or for the purpose of serving employees, guests and other persons who are within the district with an industrial activity.

EXISTING LAND USE: The parcel is currently occupied by a power transmission line & electrical contractor that provides service to local power companies. A new vehicle maintenance building is planned, and the existing office building is proposed to be expanded. Exhibit "B" shows the existing use of the subject property.

SURROUNDING LAND USE: Exhibit "B" illustrates the following:

- **North:** Wooded lands and single-family homes
- **East:** Wooded lands, farmland, and single-family homes
- **West:** Vacant land, as well as commercial, industrial and trades contractor activities
- **South:** Kubota of Fayetteville (Construction and farm tractors and equipment).

OTHER SITE CHARACTERISTICS: The site is not located in a Watershed or within a Flood Zone Hazard Area. The subject property, as delineated in Exhibit "C", illustrates presence of hydric or hydric inclusion soils at a small portion of the northeast corner of the property.



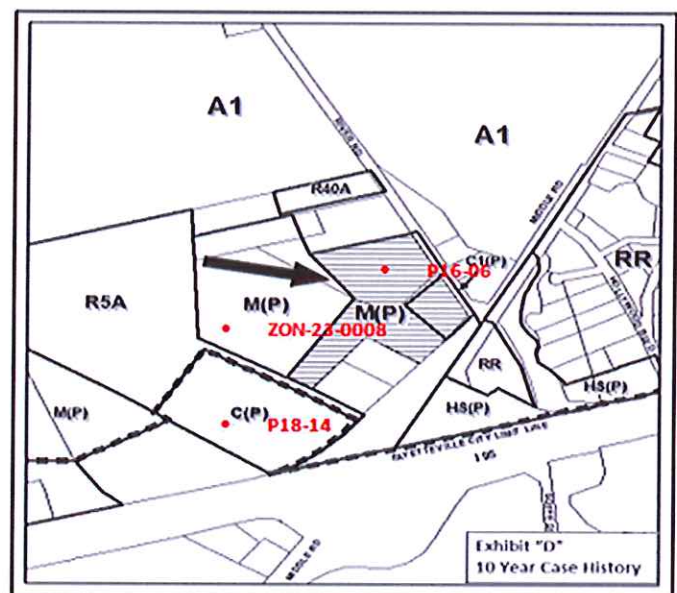
TEN YEAR ZONE CASE HISTORY:

Exhibit "D" denotes the location of the zoning case history described below.

- P16-06: A1 to M(P); APPROVED
- P18-14: R5A to C(P); APPROVED
- ZON-23-0008: A1 to M(P); APPROVED

DEVELOPMENT REVIEW:

If the conditional zoning site plan is approved, a final site plan must be submitted to Planning & Inspections and must be consistent with the conditional zoning site plan and the County Zoning Ordinance.



DIMENSIONAL PROVISIONS FOR REQUESTED DISTRICT:

Minimum Standard	C1(P) (Existing Zoning)	M(P) (Existing Zoning)	M(P) CZ (Proposed Zoning)
Front Yard Setback	45 feet min.	100 feet min.	100 feet min.**
Side Yard Setback	15 feet min.	50 feet min.	50 feet min.
Rear Yard Setback	20 feet min.	50 feet min.	50 feet min.
Lot Area	n/a	n/a	n/a
Lot Width	n/a	n/a	n/a

**The front yard minimum setback from Middle River Loop Road for the existing office building and its expansion is 75 feet as evidenced on the conditional zoning site plan.

PROPOSED DEVELOPMENT:

- Existing Office Building Expansion
 - Existing office bldg.: 14,194 sq. ft.
 - New Building edition: 8,405 sq. ft.
 - Total: 22,599 sq. ft
 - Two stories
- Maintenance Building (new)
 - Vehicle maintenance: 24,000 sq. ft.
 - One story
- Parking:

	<u>Spaces</u>
◦ Existing:	28
◦ Additional:	20
◦ Total:	48

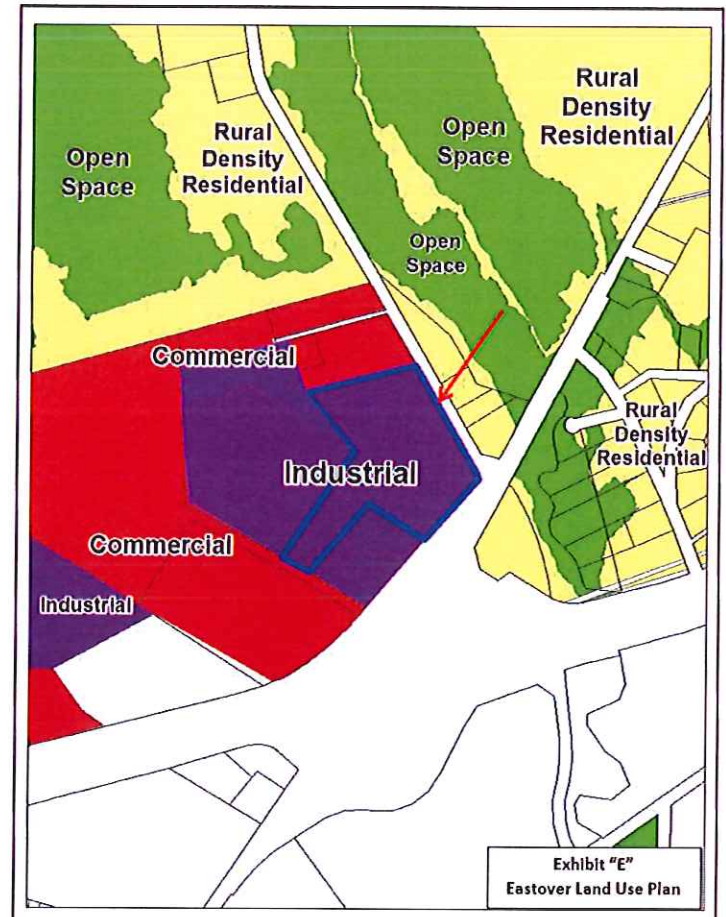
COMPREHENSIVE PLANS:

This property is located within the Eastover Area Land Use Plan (2018). The future land use classification of the property is "Industrial". Associated zoning districts for these classifications are M1(P) and M(P). **The proposed rezoning request is consistent with the adopted Land Use Plan.**

APPLICABLE PLAN GOALS/POLICIES:

Industrial Development Goal:

- "Provide areas for clean industries where infrastructure is adequate and is in harmony with surrounding development" (Eastover Area Land Use Plan, p.52)
- "Require an extensive natural or landscape buffer along roadways to screen industrial operations." (Eastover Area Land Use Plan, p.52)
- "Promote efforts that encourage new industrial development. Provide sufficient zoned industrial areas to accommodate the needs of present and future County residents. Locate industrial development so that it has the least impact on residential and other non-compatible uses." (Land Use Policies Plan, p. 24)



IMPACTS ON LOCAL INFRASTRUCTURE AND/OR FACILITIES

UTILITIES: A water utility line serviced by PWC is available along the frontage of Middle River Loop Road. Sewer lines are less than 300 feet from the southwest corner of the property along Mill River Loop Road. Connection to central sewer lines will be required unless the utility provide declines to provide service. It is the applicant's responsibility to determine if this utility can adequately serve their development. Currently, this site has an active and approved septic permit. Expansion of the business may require the owner to upgrade the septic system if central sewer is not an option.

TRAFFIC: According to the Fayetteville Area Metropolitan Planning Organization (FAMPO), the subject property sits at Middle Loop Road and is identified as a local road in the Metropolitan Transportation Plan. There are no roadway construction improvement projects planned and the subject property will have no significant impact on the Transportation Improvement Program. In addition, Middle Loop Road has no 2021 AADT and no road capacity data available. Due to lack of data and the small scale, the new zoning request does not demand a trip generation evaluation. The new development should not generate enough traffic to significantly impact Middle Loop Road.

SCHOOLS CAPACITY/ENROLLMENT:

School	Capacity	Enrollment
Armstrong Elementary	441	457
Mac Williams Middle	1164	1166
Cape Fear High	1476	1590

ECONOMIC DEVELOPMENT: Fayetteville Cumberland County Economic Development Corporation has reviewed the request and is supportive of the proposed request.

EMERGENCY SERVICES: Cumberland County Fire Marshal's office has reviewed the request and has no objections to the rezoning request.

SPECIAL DISTRICTS: The property is not located within the Fayetteville Regional Airport Overlay District or within five miles of Fort Liberty Military Base.

CONDITIONS OF APPROVAL: Use and development of the subject site must comply with the Conditions of Approval provided in Exhibit "F" and the Conditional Zoning Site Plan also provided in Exhibit "F".

STAFF RECOMMENDATION

In Case ZON-23-0014, Planning and Inspections staff **recommends approval** of the rezoning request from C1(P) Planned Local Business District and M(P) Planned Industrial District to M(P)/CZ Planned Industrial District Conditional Zoning. Staff finds the request is consistent with the Eastover Land Use Plan which calls for "Industrial" at this location. Staff also finds that the request is reasonable and in the public interest as it is compatible to and in harmony with the surrounding land use activities and zoning.

Attachments:
Conditions of Approval
Conditional Site Plan
Notification Mailing List
Application

Exhibit "F"
Conditions of Approval

M(P) Planned Industrial District / CZ Conditional Zoning District
Case ZON-23-0014
Ordinance Related Conditions for Industrial Use of Property

A. Applicability: All use and development of the property applicable to this Conditional Zoning (ZON-23-0014) and as delineated in Exhibit "A" shall occur consistent with the standards and requirements of the M(P) Planned Industrial Zoning District unless otherwise stated herein. If any standards herein are inconsistent with the Zoning or Subdivision ordinance, the conditions set forth herein shall supersede and apply to the development of the property delineated in Exhibit "A". If not expressly stated herein the M(P) Planned Industrial standards shall apply. Where conditions herein delay compliance to the final site plan, the condition must be addressed prior to County approval of the final site plan.

B. Permitted and Prohibited Uses.

Use of the site is limited to power transmission line and electrical contracting businesses or similar trades contractor activities, with or without outside storage of equipment or supplies, and associated accessory uses, and as shown on the Conditional Zoning Site Plan appearing in Exhibit "A" here attached. Final determination as to whether a use qualifies as a trades contractor activity shall be made by the County Code Enforcement Manager and according to policy of the County Zoning Ordinance. Storage of junked or inoperable motorized vehicles or junked equipment on this site is prohibited.

C. Development Standards.

1. Setback Standards. Minimum setback standards for this development shall comply with the M(P) standards set forth in the County Zoning Ordinance except for the below situations:

Front Yard Setback from Middle Loop Road for the existing office building and its expansion: Minimum of 75 feet.

2. Accessory structure: Any accessory structure, as defined by the County Zoning Code, shall comply with the minimum setback standard for the M(P) zoning district.
3. Minimum distance between buildings shall be determined by N.C. building code.
4. Signage for this development shall be in accordance with the applicable sign regulations as set forth in Article XIII of the County Zoning Ordinance and that the property permit(s) be obtained prior to the installation of any permanent signs on the property. Note: This conditional approval is not approval for the size, shape, or location of any signs.
5. All dumpster, garbage, and utility areas shall be located on concrete pads and screened on a minimum of three sides. Such locations and screening will be demonstrated on the final site plan.

D. Infrastructure and Utilities:

1. **Lighting:**

- a. All lighting is required to be directed internally within this development and comply with the provisions of Section 1102 M, Outdoor Lighting, County Zoning Ordinance:

The following standards are applicable to all properties:

- i. All lights shall be shielded in such a way as to direct all light toward the Earth's surface and away from reflective surfaces;
 - ii. Light fixtures or lamps shall be shielded/shaded in such a manner as to direct incident rays away from all adjacent property and any light on a pole, stand, or mounted on a building must have a shield, and adjustable reflector and non-protruding diffuser;
 - iii. Any facilities, which may require floodlighting, may not arrange the light in such a way that it will shine toward roadways, on adjacent residential property or residentially zoned property or into the night sky;
 - iv. Any interior lighted signs may not be lit at night when any face of the sign is removed or damaged in such a way that the light may distract pedestrians or drivers or become a nuisance to homeowners;
 - v. Any light fixture must be placed in such a manner that no light-emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at the ground level.
- b. For new development, all utilities, except for 25k or greater electrical lines, must be located underground.

1. Fire Marshal and Fire Inspections:

Developer must ensure fire protection water supply requirements are met in accordance with Section 507 of the 2018 NC Fire Code. Developer is required to provide advanced coordination and contact with the County Fire Marshal office prior to final site plan submittal as well as during site construction. Developer must submit building plans to the Fire Marshal office, to scale, prior to commencement of any new site construction and/or building renovation. Submit plans for any permits required in Section 105 of the 2018 NC Fire Code. All fire department access requirements shall be met in accordance with Section 503 of the 2018 NC Fire Code and demonstrated at the time of the final site plan and building plan permit applications, as applicable. Construction plans may be required for review by the Fire Marshal and the developer is responsible for contacting same prior to any development activity, including clearing and grading.

2. Water and Sewer:

- a. Connection to public water is required. Connection to public sewer is required unless the utility provider -- the Public Works Commission (PWC) -- determines that extension of the sewer lines to the property is not feasible or warranted. The Public Works Commission (PWC) must approve water and sewer plans prior to application for any building or zoning permit for improvements identified within Exhibit "A". A copy of the PWC approval must be provided to Code Enforcement at the time for application of building permit/zoning permits. Additionally, a copy of the PWC approval must be provided to Current Planning with the final site plan submittal with a certification signed and sealed by the Engineer of Record that the required improvements installed are in conformance with the conditions of approval.

Notice: Due to an existing agreement between the PWC and the City of Fayetteville, an annexation petition may be required prior to the PWC's review of any utility plans. Upon submission of the annexation petition, the City most likely will require a sealed certification from an engineer as to the guarantee of improvements. In addition, the City may require a bond or other financial guarantees as assurance that all required improvements will be properly installed.

3. Stormwater and Drainage:

- a. For any new development where the developer disturbs or intends to disturb more than one acre of land, the developer must provide the Code Enforcement Section with an approved NC Department of Environmental Quality (NCDEQ) sedimentation and erosion control plan(S&E). If any retention/detention basins are required for state approval of this plan, a formal revision application must be filed with Current Planning for review and approval.
- b. New development where the developer will disturb or intends to disturb more than one acre of land is subject to the Post- Construction Stormwater Management Permitting Program (Phase II Stormwater Management Requirements) administered by the Division of Water Quality, North Carolina Department of Environmental Quality. If one acre or more of land is to be disturbed, a copy of the State's *Post-Construction Permit* must be provided to County Code Enforcement prior to the issuance of the Certificate of Occupancy.
- c. For any new development, an adequate drainage system must be installed by the developer in accordance with the NC Department of Environmental Quality (NCDEQ) *Manual on Best Management Practices* and all drainage ways must be kept clean of free and debris (Section 2306, D., County Subdivision Ordinance).
- d. In the event a stormwater utility structure is required by the NC Department of Environmental Quality (NCDEQ), the owner/developer must demonstrate on the revised plan the placement of a four-foot-high fence with a lockable gate for the security of the stormwater utility structure. The owner/developer is required to maintain the detention/retention basin, keeping it clear of debris and taking measures for the prevention of insect and rodent infestation.
- e. The applicant is advised to consult an expert on wetlands before proceeding with any development.

4. Roads/Access/Parking:

- a. The developer is responsible for providing a final site plan demonstrating compliance with at least 67, 9x20 parking spaces required for the expansion of the office building. Accessible parking shall be provided consistent with the American Disability Act and North Carolina Building Code and shall count toward meeting the required parking requirements.
- b. All parking or temporary storage of vehicles including trucks and trailers must occur at designated parking or vehicle storage areas designated on the final site plan. No vehicles shall be parked or stored on any landscape area or buffer, open space, or street right-of-way.
- c. Driveways accessing abutting public roads shall be limited to the locations identified on the Conditional Zoning Site Plan, as determined by NCDOT. Driveway locations shall only be relocated or revised if approved by NCDOT and do not require a substantial modification to the Conditional Zoning Site Plan.
- d. All NCDOT permits must be obtained and submitted to the Code Enforcement Division prior to any issuance of a building permit or commencement of any development activity or change in property usage. Per NCDOT comments for this rezoning, failure to secure required permits prior to construction or change in property usage may result in the removal of the driveway or street connections at the property owner's expense.

- e. Turn lanes may be required by the NC Department of Transportation (NCDOT) during review of the driveway permit or construction plans. Any NCDOT required improvements shall be completed prior to issuance of a certificate of occupancy unless otherwise indicated by NCDOT.
- f. The developer is to ensure there is fire department access within 150 feet of all points of the building. The access shall be a minimum of 20 feet wide and withstand the weight of a fire apparatus.

5. Landscaping:

The final site plan shall include a detailed landscaping plan addressing the regulatory requirements set forth in section 1102 of the County Zoning Code.

6. Development Review Process:

- a. A final site plan, to include a detailed lighting plan and landscaping plan, shall be provided to Planning staff with a written transmittal with a brief narrative of the plans provided.
- b. In the event the requirements or conditions from a State or Federal Agency or utility provider creates an inconsistency with the conditional zoning site plan in any manner, a revised conditional site plan must be submitted to the Current Planning Division for review. Any change determined by the County to represent a substantial change to the conditional zoning site plan, Board of County Commission approval may be required, as shall be determined by the Planning Director.
- c. Developer must coordinate with the Current Planning Division prior to making any changes to the conditional zoning site plan. Any changes to the conditional zoning site plan must be reviewed by the Current Planning Division to determine if any change is considered an insubstantial or substantial modification.

7. Other Conditions:

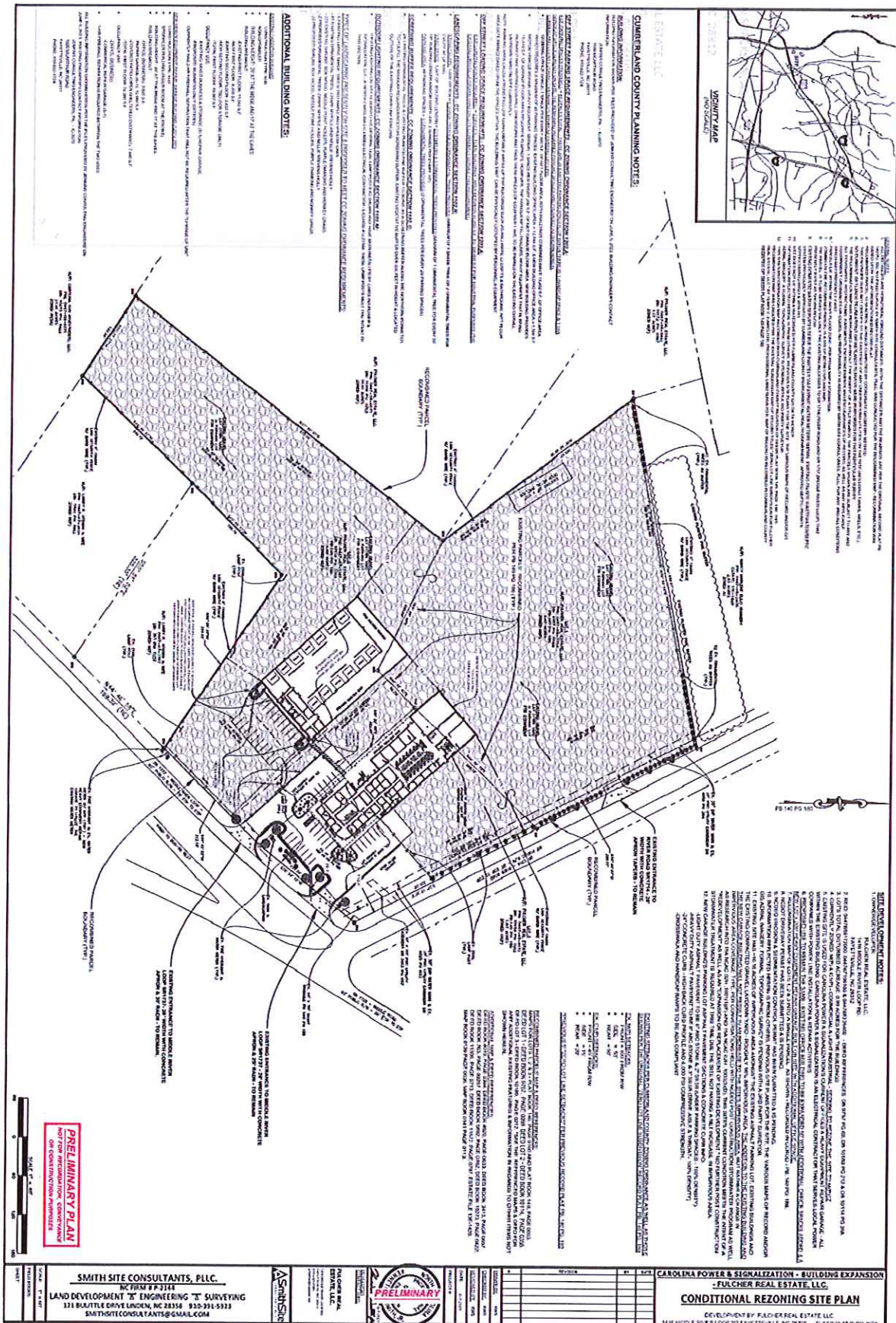
- a. The owner/developer is responsible for maintenance and upkeep of this site, all structures, and appurtenances, to include ensuring that the site is kept free of litter and debris, and that all grass areas mowed, all buffers and shrubbery kept trim and maintained so that the site remains in a constant state of being aesthetically and environmentally pleasing.
- b. The owner/developer(s) of the lot must obtain detailed instructions on provisions of the County Zoning Ordinance and permits required to place any structure within this development from the County Code Enforcement Section, Room 101, in the Historic Courthouse at 130 Gillespie Street. For additional information, the developer should contact a Code Enforcement Officer.
- c. The developer must provide a site-specific address and tax parcel number at the time of building/zoning permit application.
- d. The building final inspection cannot be accomplished until a Code Enforcement Officer inspects the site and certifies that the site is developed in accordance with the conditions listed herein.
- e. This conditional approval is not to be construed as all-encompassing of the applicable rules, regulations, etc. which must be complied with for any development. Other regulations, such as building, environmental, health and so forth, may govern the specific

development. The developer is responsible party to ensure full compliance with all applicable Federal, State, and local regulations.

- f. Any substantial modification made to this approved conditional zoning site plan or conditions of approval, other than those set forth in the above conditions, must be approved by the Board of Commissioners as set forth by Section 506 of the Zoning Ordinance.
- g. No clearing or grading shall occur until authorized by the Code Enforcement Manager.
- h. Pursuant to Section 507, County Zoning Ordinance, two years after the date of the Board of County Commissioners approves this Conditional Zoning, the Planning Board may examine progress made to determine if active efforts are proceeding. If the Planning Board determines that active efforts to develop are not proceeding, it may institute proceedings to rezone the property to its previous zoning classification.
- i. All applications and plan submittals shall be submitted via the County online permitting self-service portal at the following website address:

https://selfservice.co.cumberland.nc.us/EnerGov_Prod/SelfService#/home

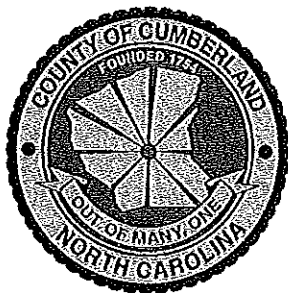
Exhibit "A" of the Conditions of Approval Conditional Use Site Plan



ATTACHMENT – MAILING LIST

CARRINGTON MORTGAGE SERVICES LLC 101 WEST LOUIS HENNA BLVD STE 450 AUSTIN, TX 78728	VORDER BRUEGGE, WILLIAM F;VORDER BRUEGGE, JULIA E LITTLE 1313 RIVER RD EASTOVER, NC 28312	HENRY, BRIAN S;JACKSON, ASHLEY L 834 MIDDLE RD EASTOVER, NC 28312
CAROLINA SUN INVESTMENTS LLC PO BOX 205 FAYETTEVILLE, NC 28302	GODWIN, LARRY R;GODWIN, REBA T PO BOX 4 FAYETTEVILLE, NC 28302	FULCHER REAL ESTATE LLC PO BOX 53650 FAYETTEVILLE, NC 28305
WINGER, BEVERLY O;CHARLES, CONOLY JR 1001 HOLLYWOOD BLV FAYETTEVILLE, NC 28312	FULCHER REAL ESTATE LLC 1416 MIDDLE LOOP FAYETTEVILLE, NC 28312	ROYSTER, JOSEPH L 848 RIVER RD FAYETTEVILLE, NC 28312
COTTON, WINNIE W TRUSTEE;BRENDA, W JOHNSON 871 MIDDLE RD FAYETTEVILLE, NC 28312	NUNNERY, ALBERT ALAN;NUNNERY, NANCY ELLIS 895 RIVER RD FAYETTEVILLE, NC 28312	ELLIS, ROGER ALLEN HEIRS 901 RIVER RD FAYETTEVILLE, NC 28312
NORRIS, FREDERICK 907 RIVER RD FAYETTEVILLE, NC 28312	ROGERS, AMY MCLAURIN 949 HOLLYWOOD BLVD FAYETTEVILLE, NC 28312	MORAN, DANIEL V 953 HOLLYWOOD BLV FAYETTEVILLE, NC 28312
HOBBS, ELZY THOMAS;HOBBS, ANN AVENT 957 HOLLYWOOD BLV FAYETTEVILLE, NC 28312	PITTS, ALEXANDRA;PITTS, EDWARD 961 HOLLYWOOD BLVD FAYETTEVILLE, NC 28312	SIMMONS, LISA LYNN 970 ANGUS ST FAYETTEVILLE, NC 28312
PATEL, VISHALKUM A;PATEL, KIRITKUMAR P 71 TIMBERHILL DR FRANKLIN PARK, NJ 08823	WILLIFORD, VICTORIA ANNETTE OQUINN 108 G CHANDLER DR GREENVILLE, NC 27834	

ATTACHMENT: APPLICATION



County of Cumberland

Planning & Inspections Department

CASE #: _____

PLANNING BOARD
MEETING DATE: _____

DATE APPLICATION
SUBMITTED: _____

RECEIPT #: _____

RECEIVED BY: _____

APPLICATION FOR CONDITIONAL ZONING DISTRICT REZONING REQUEST CUMBERLAND COUNTY ZONING ORDINANCE

Upon receipt of this application (petition), the Planning and Inspections Staff will present to the Planning Board the application at a hearing. In accordance with state law and board's policy, a notice of the hearing will be mailed to the owners of the adjacent and surrounding properties, which may be affected by the proposed Conditional Zoning. In addition, a sign will be posted on the property.

The Planning Board will make a recommendation to the Cumberland County Board of Commissioners concerning the request. The Board of Commissioners will schedule a public hearing and issue a final decision on the matter. Generally, the Commissioners will hold the public hearing four weeks following the Planning Board meeting. The Conditional Zoning District is not effective until the request is heard and approval granted by the Board of Commissioners.

The following items are to be submitted with the completed application:

1. A copy of the recorded deed and/or plat,
2. If a portion of an existing tract is/are being submitted for rezoning, an accurate written legal description of only the area to be considered;
3. A copy of a detailed site plan drawn to an engineering scale, showing the location of all buildings, yard dimensions, driveways, fencing, lighting parking areas, landscaping, and all other pertinent data to the case; and
4. A check made payable to the "Cumberland County" in the amount of \$_____ (See attached Fee Schedule)

NOTE: Any revisions, inaccuracies or errors to the application or site plan may cause the case to be delayed and will be scheduled for the next available Board meeting according to the Board's meeting schedule. Also, the application fee is *nonrefundable*.

The Planning and Inspections Staff is available for advice on completing this application; however, they are not available for completion of the application or preparation of the site plan. For questions call (910)678-7603 or (910) 678-7602. Hours of operation are 8:00 a.m. to 5:00 p.m., Monday through Friday.

TO THE CUMBERLAND COUNTY JOINT PLANNING BOARD AND THE BOARD OF COUNTY COMMISSIONERS OF CUMBERLAND COUNTY, NC:

I (We), the undersigned, hereby submit this application, and petition the County Commissioners to amend and to change the zoning map of the County of Cumberland as provided for under the provisions of the County Zoning Ordinance. In support of this petition, as hereinafter requested, the following facts are submitted:

1. Applicant/Agent Fulcher Real Estate, LLC.
2. Address: 1416 Middle River Loop Road Fayetteville, NC Zip Code 28312
3. Telephone: (Home) 910-323-5589 (Work) 910-323-5589
4. Location of Property: parcels located West of the intersection of River Rd & Middle River Loop Rd
5. Parcel Identification Number (PIN #) of subject property: 0447686172000, 0447683354000
(also known as Tax ID Number or Property Tax ID) 0447671961000
6. Acreage: 10.59 acres total Frontage: 1,010 LF Depth: 465 LF
7. Water Provider: FayPWC Septage Provider: on site septic - already permitted
8. Deed Book 9757, 10114, 10189, Page(s) 0069, 0358, 0212, Cumberland County Registry. (Attach copy of deed of subject property as it appears in Registry).
9. Existing use of property: Power transmission line & electrical contractor to operate their business in order to serve local power companies like FayPWC, Duke Energy, SREMC & LREMC.
10. Proposed use(s) of the property: The intended use shall be the same as before- for a power transmission line & electrical contractor to operate their business in order to serve local power companies like FayPWC, Duke Energy, SREMC & LREMC. The owner simply wants to expand his existing building and add a new building due to additional personnel.

NOTE: Be specific and list all intended uses.

11. Do you own any property adjacent to, including across the street from, the property being submitted for rezoning? Yes X No _____
12. Has a violation been issued on this property? Yes _____ No NO
13. It is requested that the foregoing property be rezoned FROM: C1(P) & M(P)
TO: (Select one)

X Conditional Zoning District, with an underlying zoning district of M(P) CZ
(Article V)
____ Mixed Use District/Conditional Zoning District (Article VI)
____ Planned Neighborhood District/Conditional Zoning District (Article VII)
____ Density Development/Conditional Zoning District, at the _____ Density
(Article VIII)

APPLICATION FOR
CONDITIONAL ZONING

1. PROPOSED USE(S):

- A. List the use(s) proposed for the Conditional Zoning. (Use of the underlying district will be restricted only to the use(s) specified in this application if approved.)

The intended use shall be the same as before- for a power transmission line & electrical contractor to operate their business in order to serve local power companies like FayPWC, Duke Energy, SREMC & LREMC. The owner simply wants to expand his existing building and add a new building due to additional personnel. The proposed conditional rezoning is to allow the existing & proposed structures not violate any setbacks.

- B. Density: List the amount of acreage that will be residential, commercial, and/or open space, and the number of lots and/or dwelling units proposed, and the square footage of the non-residential units.

Not applicable - conditional use rezoning to M(P) CZ is for the purposes of not violating the setbacks of the desired zoning district/classification.

2. DIMENSIONAL REQUIREMENTS:

- A. Reference either the dimensional requirements of the district, Sec. 1104 or list the proposed setbacks.

Existing setback to be honored per record plat PB: 140 PG: 180 (3 parcels) & the recombined map PB: 149 PG: 186

EX. M(P) SETBACKS

-FRONT = 100' FROM R/W

-SIDE = 50'

-REAR = 50'

EX. C1(P) SETBACKS:

-FRONT = 45' FROM R/W

-SIDE = 15' FROM R/W

-REAR = 20'

*ALSO SEE PREVIOUS ZERO LOT LINE SETBACKS PER PREVIOUS RECORD PLAT PB: 140 PG: 180 & THOSE RECENTLY RECORDED FOR THE RECOMBINATION MAP PB: 149 PG: 186

- B. Off-street parking and loading, Sec.1202 & 1203: List the number of spaces, type of surfacing material and any other pertinent information.

48 PARKING SPACES - ASPHALT

3. SIGN REQUIREMENTS:

Reference the district sign regulations proposed from Article XIII.

No additional signage needed. Existing signage suffices

4. LANDSCAPE AND BUFFER REQUIREMENTS:

- A. For all new non-residential and mixed use development abutting a public street, indicate the number and type of large or small ornamental trees used in the streetscape, yard space, and/or parking areas, plus the number and type of shrubs. (Sec. 1102N). **NOTE: All required landscaping must be included on the site plan.**

-STREETSCAPE: 6 SHADE TREES & 29 ORNAMENTAL TREES (1,005 LF OF R/W)
-YARD SPACE: 223 SHRUBS & 5 ORNAMENTAL TREES (1,341 LF OF BUILDING)
-PARKING AREA: 5 ORNAMENTAL TREES PROVIDED (48 PARKING SPACES)

ADDITIONAL ORNAMENTAL TREES & SHRUBS LANDSCAPING PROVIDED AS WELL TO SURPASS MINIMUM REQUIREMENTS. SEE SITE PLAN FOR ADDITIONAL INFO

- B. Indicate the type of buffering and approximate location, width and setback from the property lines. (Sec. 1102G). **NOTE: All required buffers must be included on the site plan.**

24 EXISTING ORNAMENTAL TREES AS WELL AS AN EXISTING, PLANTED PINE BUFFER ALONG THE NORTHERN PROPERTY LINE TO SERVE FOR SCREENING. SEE SITE PLAN FOR ADDITIONAL INFO

5. MISCELLANEOUS:

List any information not set forth above, such as the days and hours of the operation, number of employees, exterior lighting, noise, odor and smoke, emission controls, etc.

-APPROXIMATELY 30 FULL TIME STAFF MEMBERS ON SITE
-BUSINESS HOURS ARE TYPICALLY 7AM TO 5PM, MONDAY - FRIDAY BUT SUBJECT TO EMERGENCY CONDITIONS
-THE CURRENT SITE HAS EXISTING OUTDOOR LIGHTING BY A NC LICENSED ELECTRICAL CONTRACTOR
-NOISE & ACTIVITIES TYPICAL WITH A TRADE CONTRACTOR THAT HAS OUTDOOR STORAGE

6. SITE PLAN REQUIREMENTS:

The application must include a site plan drawn to the specifications of Sec. 1402. If the proposed uses involve development subject to the County Subdivision Ordinance, the site plan required may be general in nature, showing a generalized street pattern, if applicable, and the location of proposed uses. If the proposed uses include development not subject to the Subdivision Ordinance, the site plan must be of sufficient detail to allow the Planning and Inspections Staff, Planning Board and County Commissioners to analyze the proposed uses and arrangement of uses on the site. It also must include the footprints of all buildings (proposed and existing), the proposed number of stories, location and number of off-street parking and loading spaces, proposed points of access to existing streets and internal circulation patterns. In addition, the location of all proposed buffers and fences and landscaping shall be included on the site plan.

7. STATEMENT OF ACKNOWLEDGMENT:

It is understood by the undersigned that the official zoning map, as originally adopted and subsequently amended, is presumed to be appropriate to the property involved and that the burden of proof for a zoning amendment (rezoning) rest with the petitioner.

It is the responsibility of the petitioner (personally or by agent) to submit to the Planning and Inspections Department a valid request within a complete application.

I further understand I must voluntarily agree to all ordinance related conditions prior to the first hearing on the case or any disagreement may be cause for an unfavorable recommendation. The undersigned hereby acknowledge that the Planning and Inspections Staff has conferred with the petitioner or assigns, and the application as submitted is accurate and correct.

FULCHER REAL ESTATE, LLC. - GARRET FULCHER
NAME OF OWNER(S) (PRINT OR TYPE) MEMBER/MANAGER

1416 MIDDLE RIVER LOOP FAYETTEVILLE, NC 28312
ADDRESS OF OWNER(S)

G.FULCHER@NCPower.NET
E-MAIL

910-323-5539
HOME TELEPHONE

910-323-5589
WORK TELEPHONE

Garret L. Fulcher
SIGNATURE OF OWNER(S)

SIGNATURE OF OWNER(S)

GARRET FULCHER & KENNETH SMITH (ENGINEER)
NAME OF AGENT, ATTORNEY, APPLICANT (by assign) (PRINT OR TYPE)

1416 MIDDLE RIVER LOOP FAYETTEVILLE, NC 28312
ADDRESS OF AGENT, ATTORNEY, APPLICANT

910-391-5923
HOME TELEPHONE

910-323-5589
WORK TELEPHONE

G.FULCHER@NCPower.NET
E-MAIL ADDRESS

SMITHSITECONSULTANTS@GMAIL.COM
FAX NUMBER

Garret L. Fulcher
SIGNATURE OF AGENT, ATTORNEY, OR APPLICANT

SIGNATURE OF AGENT, ATTORNEY, OR APPLICANT



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

SUBJECT: CASE ZON-23-0015: REZONING FROM R40A RESIDENTIAL DISTRICT TO R6 RESIDENTIAL DISTRICT OR TO A MORE RESTRICTIVE ZONING DISTRICT FOR 23.28 +/- ACRES; LOCATED AT THE WEST SIDE OF GODWIN FALCON ROAD AND NORTH OF MOSES ROAD, SUBMITTED BY WILLIE J. AND SHIRLEY MAE BURNETTE (APPLICANT/OWNER). (GODWIN)

ATTACHMENTS:

Description

Case ZON-23-0015

Type

Backup Material

REQUEST

Rezoning R40A to R6

Applicant requests a rezoning from R40A Residential District to R6 Residential District for one parcel of approximately 23.28 acres located at 8375 Godwin Falcon Road. The parcel is currently being used for farming purposes. The intent of the property owners is to subdivide the parcel into lots for residential development purposes with lot sizes created at a minimum of 6,000 sq. ft per lot. The subject site is located within 2,000 feet from the I-95 interchange.

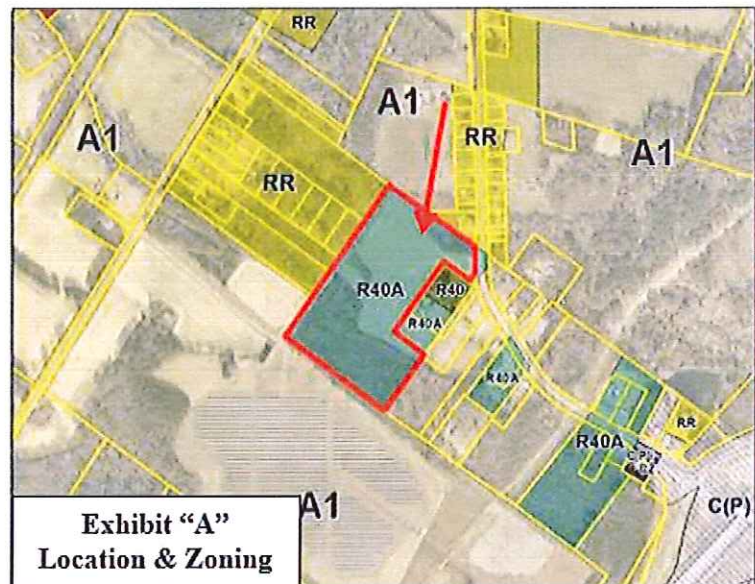
PROPERTY INFORMATION

OWNER/APPLICANT: Willie J. and Shirley Mae Burnette

ADDRESS/LOCATION: Refer to Exhibit "A", Location and Zoning Map. REID number: 0593602508000

SIZE: 23.28 +/- acres within the parcel. The road frontage along Godwin Falcon Road is 195 feet. The longest side of the property runs approximately 1,300 feet, and the width of the property's western boundary is approximately 893 feet.

EXISTING ZONING: The subject property is currently zoned R40A Residential District, a district designed primarily for single family dwelling units including the use of manufactured homes on individual lots, with a lot area of 40,000 square feet or above.

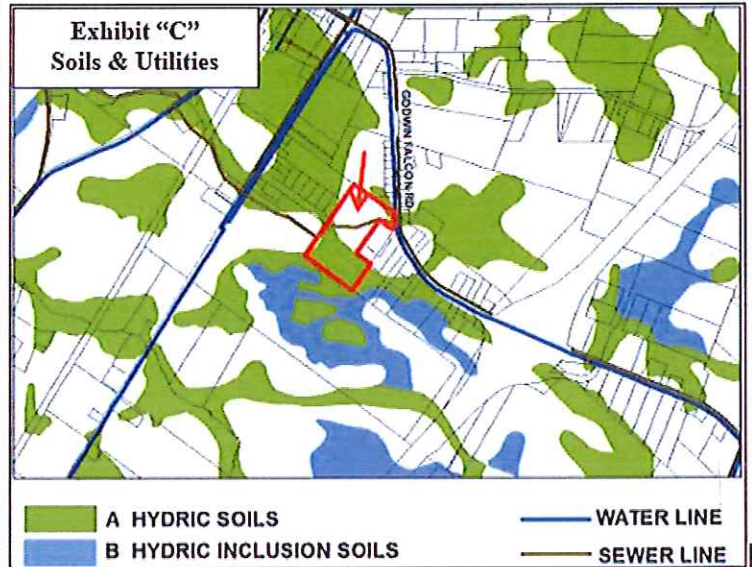
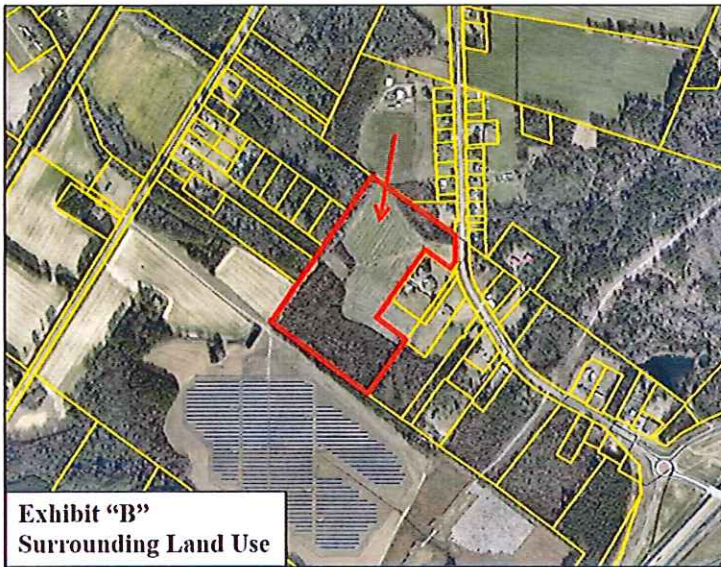


EXISTING LAND USE: The parcel is currently used for farming. Exhibit "B" shows the existing use of the subject property.

SURROUNDING LAND USE: Exhibit "B" illustrates the following:

- **North:** Farmland and single-family homes
- **East:** Single family homes and I-95 highway
- **West:** Wooded lands and single-family homes
- **South:** Solar Panel Farm

OTHER SITE CHARACTERISTICS: The site is not located in a Watershed or within a Flood Zone Hazard Area. The subject property, as delineated in Exhibit "C", illustrates presence of hydric soils covering the southern areas of the property and at a small portion of the northeast corner.

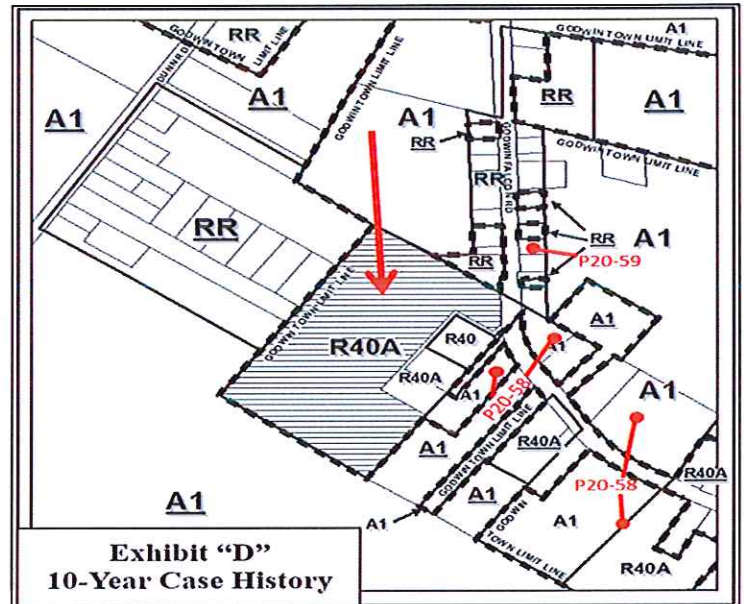


TEN YEAR ZONE CASE HISTORY:

Exhibit "D" denotes the location of the zoning case history described below.

- P20-58: INT A1, R40A, C(P)/CZ; Approved
- P20-59: INT RR; Approved

DEVELOPMENT REVIEW: Subdivision review by County Planning & Inspections and approval by the Town of Godwin will be required before any development.



DIMENSIONAL PROVISIONS FOR REQUESTED DISTRICT:

Minimum Standard	R40A (Existing Zoning)	R6 (Proposed)
Front Yard Setback	30 feet	25 feet
Side Yard Setback	15 feet	10 feet (one story)/ 12' (two story)
Rear Yard Setback	35 feet	30 feet
Lot Area	40,000 acres	6,000 sq. ft. for SF 2 nd to 4 th units – 5,000 sq. ft. 5 th unit and above – 4,000 sq. ft.
Lot Width	100'	60'

Source: Godwin Zoning Ordinance

Development Potential:

Existing Zoning (R40A)	Proposed Zoning (R6)
25 dwelling units	169 SF units/252 MF units

- Lot count may be rounded-up when a fraction occurs. When any requirement of this ordinance results in a fraction of a unit, a fraction of one-half or more shall be considered a whole unit, and a fraction of less than one-half shall be disregarded.

COMPREHENSIVE PLANS: This property is located within the Northeast Cumberland Land Use Plan (2011) as shown in Exhibit "E". The future land use designation of this property is "Suburban Residential". **The proposed rezoning request is consistent with the adopted land use plan.**

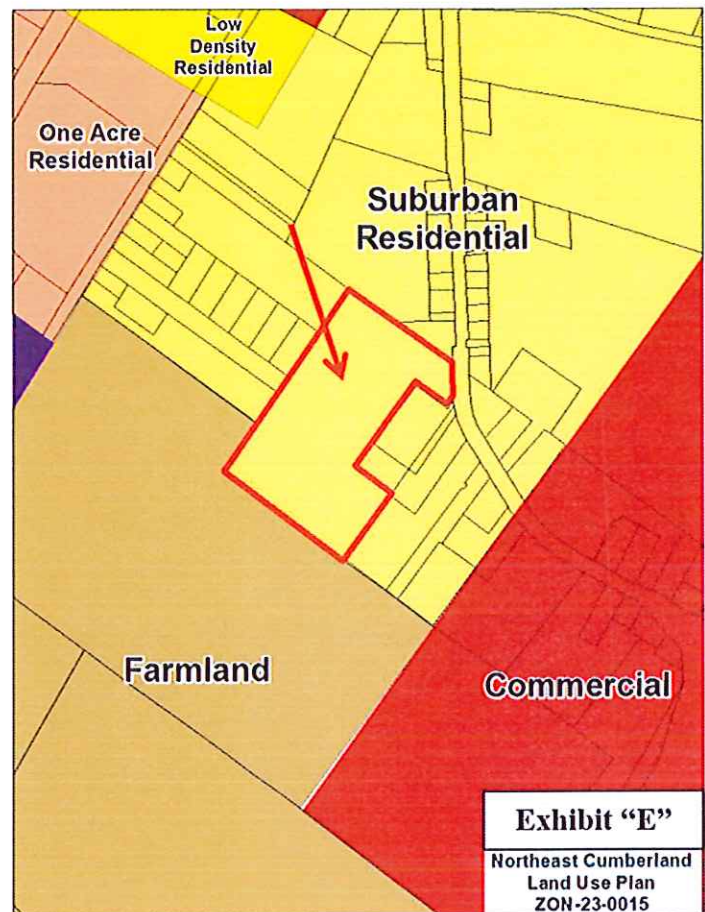
APPLICABLE PLAN GOALS/POLICIES:

-Objectives:

RECOMMENDATION 1: Promote higher density residential developments within the Town Limits or areas with public utilities.

1.1: Promote higher density residential development in conjunction with the commercial development at I-95/NC Highway 82 interchanges.

1.2: Provide sufficient land area at specific locations that support new light commercial development.



IMPACTS ON LOCAL INFRASTRUCTURE AND/OR FACILITIES

UTILITIES: Water and sewer lines are available near the subject property. Norcross would be the sewer provider. Not all lots may be able to connect to the sewer system by gravity; the developer may not want to install a grinder pump or lift station per Norcross comments. According to Norcross, they also have a 20' wide permanent utility easement running through this property that may affect the number of lots and dwellings established. It is the applicant's responsibility to determine if this utility provider will serve their development. Utilities for water and sewer are shown on Exhibit "C".

TRANSPORTATION: According to the Fayetteville Area Metropolitan Planning Organization (FAMPO), the subject property, Godwin Falcon Road, is located outside of FAMPO boundaries. The Mid-Carolina RPO did not provide any comments.

SCHOOLS CAPACITY/ENROLLMENT:

School	Capacity	Enrollment
District 7 Elementary	307	183
Mac Williams Middle	1164	1166
Cape Fear High	1476	1590

ECONOMIC DEVELOPMENT: Fayetteville Cumberland County Economic Development Corporation has reviewed the request and has no objection to the proposed request.

EMERGENCY SERVICES: Cumberland County Fire Marshal's office has reviewed the request and has no objections to the rezoning request. The Fire Marshal requests that the owners ensure all fire department access requirements are met in accordance with section 503 of the 2018 NC fire code and ensure fire

protection water supply requirements are met in accordance with Section 507 of the 2018 NC Fire Code.

SPECIAL DISTRICTS: The property is not located within the Fayetteville Regional Airport Overlay District or within five miles of Fort Liberty Military Base.

CONDITIONS OF APPROVAL: This is a conventional zoning and there are no conditions at this time.

STAFF RECOMMENDATION

In Case ZON-23-0015, Planning and Inspections staff **recommends approval** of the rezoning request from R40A Residential District to R6 Residential District. Staff finds the request is consistent with the Northeast Cumberland Land Use Plan which calls for "Suburban Residential" at this location. Staff also finds that the request is reasonable and in the public interest as it is compatible to and in harmony with the surrounding land use activities and zoning.

Attachments:
Notification Mailing List
Application

ATTACHMENT – MAILING LIST

SMITH, MARY HELEN MCLAURIN
65 HIGH RIDGE RD 283
STAMFORD, CT 06905

LAWRENCE, EDNA WANNIS
5319 WAKEFIELD ST
PHILDELPHIA, PA 19144

SMITH, DANNY EVERETT;SMITH,
LAWANDA MICHELLE
4736 LONGMONT RD
VIRGINIA BEACH, VA 23456

MORGAN, EDITH DELPHINE MURPHY
24807 BRICKWOOD MEADOW LN
PETERSBURG, VA 23803

GODWIN, JAMES ROBERT LIFE ESTATE
152 N DUELLING OAKS DR
CHAPEL HILL, NC 27517

GARTRELL, BEVERLY JANE
HARTLEY;GARTLEY, MELVIN GILBERT
JR;ATKINSON, VIVIAN LYNN HARTLEY
5517 ROLLING FIELD DR
GARNER, NC 27529

GODWIN, JAMES EARL
7626 KNOLLWOOD CIR
CHARLOTTE, NC 28213

MASSEY, BRENDA HEIRS;SMITH,
STEPHANIE;BELL, LAURIN
300 WESTWATER WAY
FAYETTEVILLE, NC 28301

MCNEILL, FLETCHER DAVID
163 BETHUNE DR
FAYETTEVILLE, NC 28311

VERHASSELT, MICHAEL F
5208 ROCKINGHAM RD
FAYETTEVILLE, NC 28311

ROBINSON, CRAIG LAMONTE
300 VILLAGE SQUARE DR
DUNN, NC 28334

COOPER, MARGARET
8455 GODWIN FALCON RD
DUNN, NC 28334

TART & TART INC
PO BOX 8
DUNN, NC 28335

MCGUIRE, EVA LINDSEY;LINDSEY,
RAYMOND K;LINDSEY, BARBARA;LINDSEY,
DAISY;LINDSEY, CHARLES C SR HEIRS
PO BOX 7
GODWIN, NC 28344

LEWIS, JOYCE GODWIN
PO BOX 36
GODWIN, NC 28344

SMITH, JOSEPH
P O BOX 54
GODWIN, NC 28344

SMITH, JOSEPH;HELEN, .
PO BOX 54
GODWIN, NC 28344

FORTE, MELBA DELORIS SMITH
PO BOX 57
GODWIN, NC 28344

BURNETT, JAMES W LIFE ESTATE;STEED,
IDA BURNETT LIFE ESTATE
PO BOX 58
GODWIN, NC 28344

BURNETTE, SELENE
PO BOX 58
GODWIN, NC 28344

SMITH, BOBBY B
PO BOX 61
GODWIN, NC 28344

ARMSTRONG, MARY L HEIRS
PO BOX 101
GODWIN, NC 28344

ARMSTRONG, ERNEST MRS HEIRS
PO BOX 101
GODWIN, NC 28344

BURNETTE, CLEVELAND LEON;BURNETTE,
MAGALENE
PO BOX 113
GODWIN, NC 28344

PHILLIPS, JAMES MILTON;PHILLIPS,
ANGELA SMITH
PO BOX 218
GODWIN, NC 28344

JESUS SAVES CHRISTIAN MINISTRIES
PO BOX 278
GODWIN, NC 28344

GOMEZ, J SERAFIN MARTINEZ;GOMEZ,
JACQUALINE ANN MARTINEZ
PO BOX 384
GODWIN, NC 28344

MCKOY, DEVON
8334 GODWIN FALCON RD
GODWIN, NC 28344

LINDSEY, RAYMOND K;MCGUIRE, EVA
LINDSEY;LINDSEY, BARBARA;LINDSEY,
DAISY;LINDSEY, CHARLES SR HEIRS
8442 GODWIN-FALCON RD
GODWIN, NC 28344

MCBRYDE, ALEX HEIRS
8452 GODWIN FALCON RD
GODWIN, NC 28344

LAMBERT, ANGELA BURNETTE
8463 GODWIN FALCON RD
GODWIN, NC 28344

SMITH, BERLEAN M LIFE ESTATE
8511 GODWIN FALCON RD
GODWIN, NC 28344

BURNETT, WILLIE J;BURNETT, SHIRLEY
MAE
8511 GODWIN FALCON RD
GODWIN, NC 28344

LINDSEY, LAMONT DORELLE;LINDSEY,
ANDREA NATASHA ALLEN
455 SUNNEHANNA DR UNIT 515
MYRTLE BEACH, SC 29588

KING, FORREST;KING, SHIRLEY
7758 PINE HOLLOW CT
ORLANDO, FL 32822

ATTACHMENT: APPLICATION

Town of Godwin

County Planning & Inspections Department

CASE #: _____

PLANNING BOARD
MEETING DATE: _____

DATE APPLICATION
SUBMITTED: _____

RECEIPT #: _____

RECEIVED BY: _____

APPLICATION FOR REZONING REQUEST GODWIN ZONING ORDINANCE

Upon receipt of this application (petition), the County Planning & Inspections Staff will present to the Joint Planning Board the application at a hearing. In accordance with state law and board's policy, the staff will provide notice of the hearing to the appropriate parties and in the proper manner.

The Joint Planning Board will make a recommendation to the Godwin Board of Commissioners concerning the request. The Board of Commissioners will schedule a public hearing and issue a final decision on the matter. Generally, the Commissioners will hold their public hearing in the month following the meeting of the Planning Board. The zoning district shall not be made effective until the request is heard and received approval by the Board of Commissioners.

The following items are to be submitted with the completed application:

1. A copy of the recorded deed and/or plat,
2. If a portion of an existing tract is/are being submitted for rezoning, an accurate written legal description of only the area to be considered;
3. A check made payable to the "Cumberland County" in the amount of \$_____ (See attached Fee Schedule)

The County Planning & Inspections Staff will advise on zoning options, inform applicants of development requirements and answer questions regarding the application and rezoning process. For questions, call (910)678-7629 or (910)678-7603. Hours of operation are 8:00 a.m. to 5:00 p.m., Monday through Friday.

NOTE: Any revisions, inaccuracies or errors to the application may cause the case to be delayed and will be scheduled for the next available board meeting according to the board's meeting schedule. Also, the application fee is *nonrefundable*.

TO THE CUMBERLAND COUNTY JOINT PLANNING BOARD AND THE GODWIN BOARD OF COMMISSIONERS, NC:

I (We), the undersigned, hereby submit this application, and petition the Godwin Board of Commissioners to amend and to change the zoning map of the Town of Godwin as provided for under the provisions of the Godwin Zoning Ordinance. In support of this petition, the following facts are submitted:

1. Requested Rezoning from R40 A to R6
2. Address of Property to be Rezoned: 8375 Godwin Falcon Rd
3. Location of Property: Godwin, NC 28344
4. Parcel Identification Number (PIN #) of subject property: 0593-60.2508
(also known as Tax ID Number or Property Tax ID)
5. Acreage: 23.23 Frontage: _____ Depth: _____
6. Water Provider: Town of Godwin
7. Sewer Provider: Norcross Utilities
8. Deed Book 005266, Page(s) 00677, Cumberland County Registry. (Attach copy of deed of subject property as it appears in Registry).
9. Existing use of property: Farming
10. Proposed use(s) of the property: Residential Subdivision
11. Do you own any property adjacent to or across the street from the subject property?
Yes X No _____ If yes, where? 8511 Godwin Falcon Rd, Godwin NC 28344
12. Has a violation been issued on this property? Yes _____ No X

The Planning and Inspections Staff is available for advice on completing this application; however, they are not available for completion of the application.

The undersigned hereby acknowledge that the County Planning & Inspections Staff has conferred with the petitioner or assigns, and the application as submitted is accurate and correct.

Willie J. Burnette & wife Shirley Mae Burnette
Name of Owner(s) (Print or Type)

8511 Godwin Falcon Rd., Godwin, NC 28344
Address of Owner(s)

910-980-1791

Home Telephone #

910-818-5934

Work Telephone #

mayorburnette@nc.rr.com
E-Mail

Willie J. Burnette & wife Shirley Mae Burnette
Name of Agent, Attorney, Applicant (Print or Type)

8511 Godwin Falcon Rd., Godwin NC 28344
Address of Agent, Attorney, Applicant

mayorburnette@nc.rr.com
E-Mail

910-980-1791

Home Telephone #

910-818-5934

Work Telephone #

Willie J. Burnette
Signature of Owner(s)

Signature of Agent, Attorney or Applicant

Shirley Mae Burnette
Signature of Owner(s)

The contents of this application, upon submission, become "public record."



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM: PLANNING & INSPECTIONS DEPARTMENT

DATE: 7/18/2023

**SUBJECT: CASE ZNG-006-23: INITIAL ZONING OF 4.01+/- ACRES TO C(P)
PLANNED COMMERCIAL DISTRICT OR TO A MORE RESTRICTIVE
ZONING DISTRICT, LOCATED AT 0 GOLFVIEW RD REID
0414127031000, SUBMITTED BY THE TOWN OF HOPE MILLS (AGENT)
ON BEHALF OF JNM OF NC INC. (OWNER) (HOPE MILLS)**

ATTACHMENTS:

Description

Case ZNG-006-23

Type

Backup Material



STAFF REPORT

REZONING CASE# ZNG-06-2023

Planning Board Meeting: 6-20-2023

Hope Mills Board Meeting: 7-17-2023

Address: O GOLFOVIEW ROAD

ZONING REQUEST: Rezoning to C(P) Planned Commercial District

The Town of Hope Mills staff received an application, requesting rezoning for the front (closest to Golfview Road) 4.01 +/- acres out of the 33.58 +/- acres of land tied to parcel identification number 0414-12-7031. The subject property is adjacent to the Golf Acres subdivision, the Town of Hope Mills property that used to be the golf course as well as across the street from the Eaglewood subdivision. The applicant is looking to rezone the front portion of the site to commercial and plans to subdivide the remaining portions afterwards. Please refer to the attached memorandum from the Hope Mills Plan Review Committee for recommendations from all pertinent engineering and permit based departments. The location of the subject property is illustrated in Exhibit "A".

SUBJECT PROPERTY INFORMATION

OWNER/APPLICANT:

Jacob Joby (agent) on behalf of
JNM of NC, Inc (owner)

ADDRESS/LOCATION: 0 Golfview Road;
REID: 0414127031000

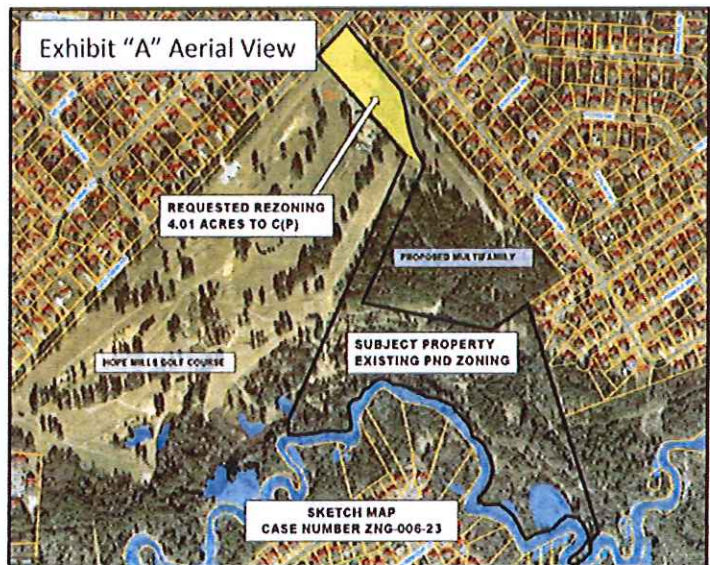
For additional Information on
the site location, refer to Exhibit
"A"

SIZE:

As stated above, the subject property
33.58 acres total but only the 4.01 acres
acres in size with varying lengths of depth is
being looked at today.

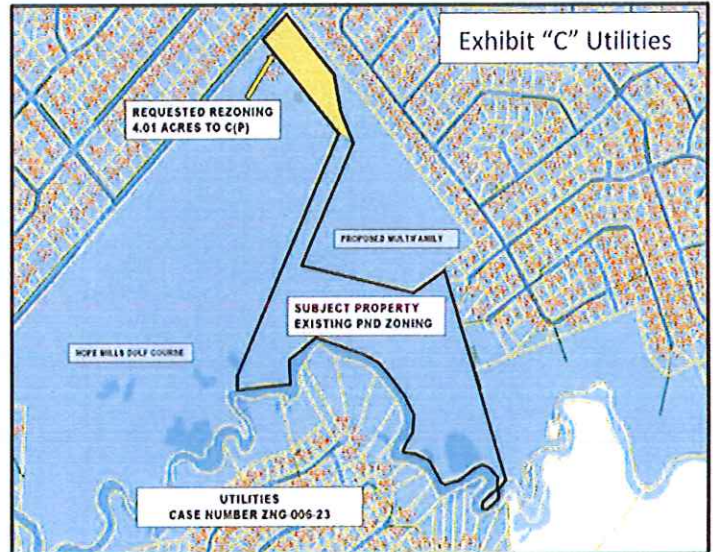
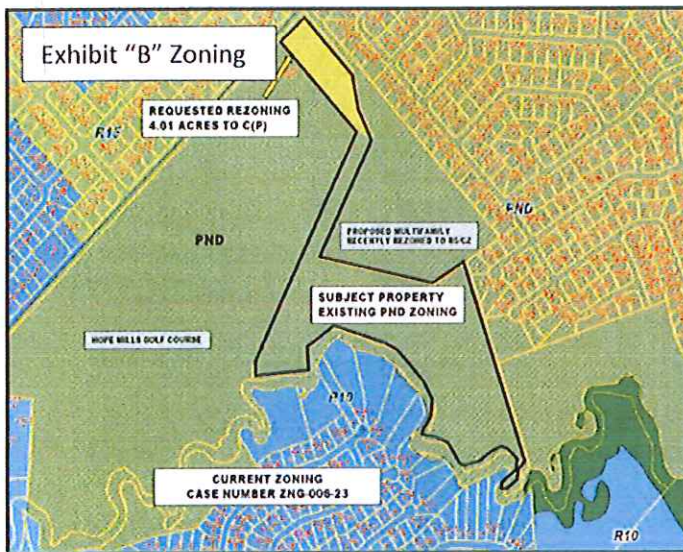
EXISTING ZONING: The subject property is
currently zoned under the PND Planned
Neighborhood District with the area to the immediate east recently rezoned to the R5 Single
Family district for the development of multi-family. The area to the immediate west is the Hope
Mills Golf Course which is zoned under the PND district proposed for the development of a park
and sports complex. The area to the far northwest and northeast are well established residentially
zoned areas under the PND, R15, and R7.5 residential districts.

EXISTING LAND USE: The subject property is currently vacant - the old club house for the golf
course was on this property.



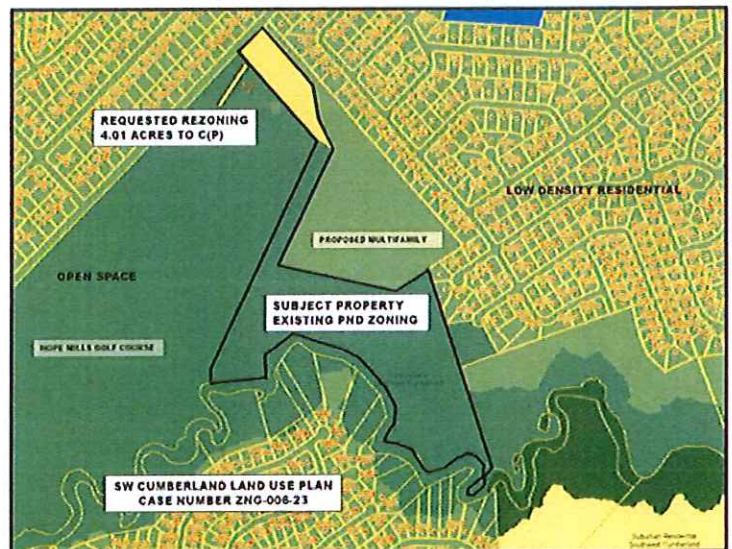
SURROUNDING ZONING AND LAND USE: The properties adjacent to the immediate south is PND Planned Neighborhood District and R10 Residential District, also known as the old golf course and Fairway Forest subdivision with the area to the immediate west being zoned R15 Residential, also known as Eaglewood subdivision and mostly PND Planned Residential, also known as Golf Acres subdivision to the east. As mentioned, the area to the immediate east is vacant and slated for the development of multi-family. Refer to Exhibit "B" for zoning and surrounding land uses.

OTHER SITE CHARACTERISTICS: Exhibit "C" provides the location of water and sewer availability.



DEVELOPMENT REVIEW: The development of this property will require a site plan and development review.

COMPREHENSIVE DEVELOPMENT PLANS: This site is located within the Southwest Cumberland Land Use Plan area (2013) and is designated as "Open Space". This request is not consistent with the land use plan but is supported by staff as it is located adjacent to what was known as the golf course which was just approved by the Board of Commissioners to pursue researching part of the old golf course to be utilized for baseball and other activities for the Parks and Recreation Department with the intention of bringing more revenue into the Town and making the Town a more notable area. Please refer to Exhibit "D" for additional information.



IMPACTS ON AREA FACILITIES

PUBLIC WORKS: When developed, the driveway permit will have to be obtained through NCDOT, otherwise, the regular Hope Mills Standards and Specifications will apply.

UTILITIES: The property will be served by PWC water and sewer.

STORMWATER: Will require Stormwater Management Permit application, not located in the Airport Overlay District nor in any floodplains.

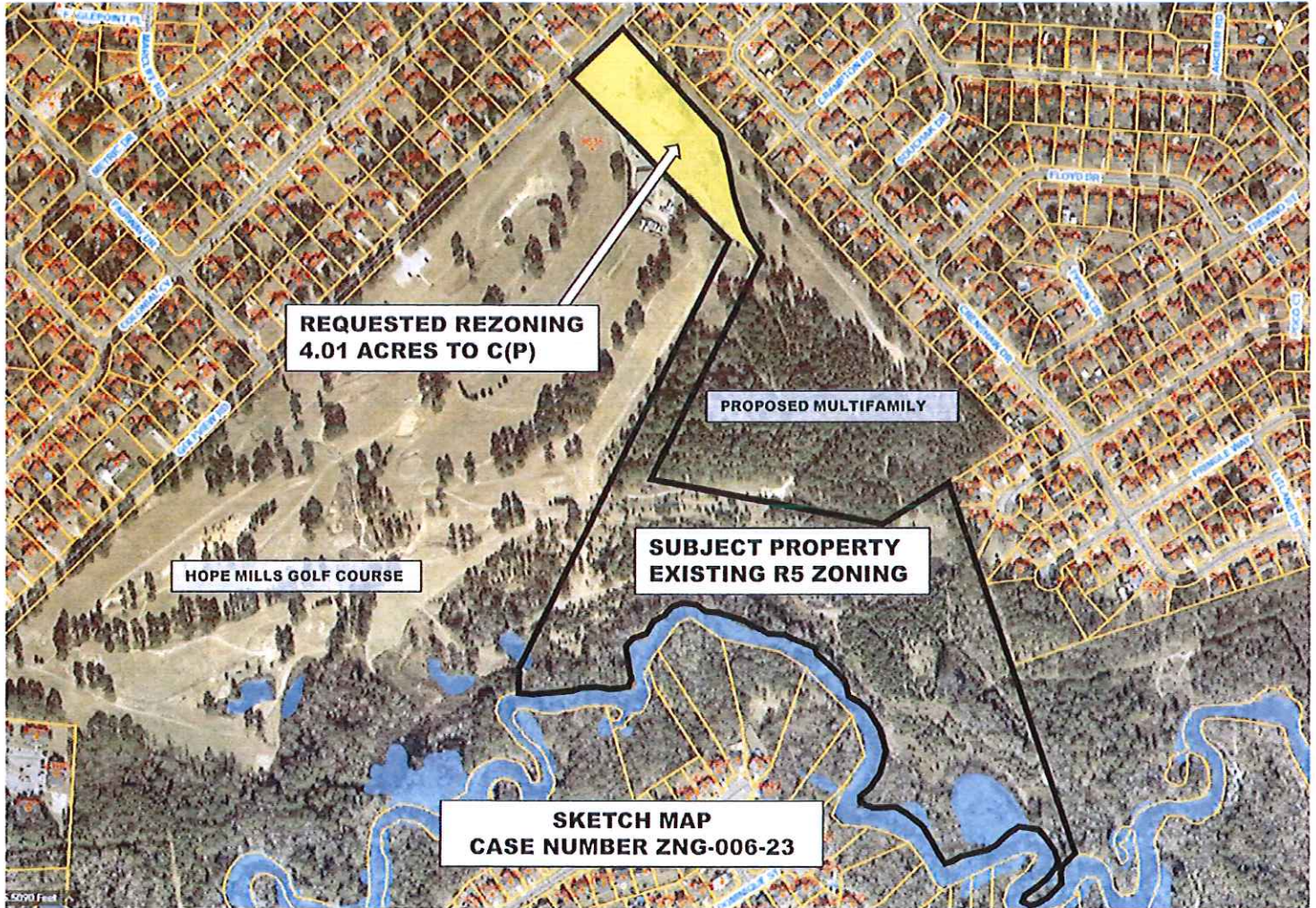
PLAN REVIEW COMMENTS: The Town of Hope Mills Plan Review team has no objections to this request.

SPECIAL OVERLAY DISTRICTS: The subject property is not located within the boundaries of any established overlay district.

CODE DEVIATIONS: None.

STAFF RECOMMENDATION

In ZNG-006-23, the Town of Hope Mills Planning staff **recommends approval** of the rezoning request to the C(P) Planned Commercial district and finds that even though the request is inconsistent with the Southwest Cumberland Land Use Plan (2013) designation, it does complement the future vision of the Town of Hope Mills in regards to the future plans of the adjacent parcels. The economic and regional impact of the proposed development fits within the vision and long-term outlook of the area in regards to economic development viability. Approval of the request is reasonable and in the public interest because the district requested is compliments the proposed development of adjacent parcels in the surrounding area.



**REQUESTED REZONING
4.01 ACRES TO C(P)**

PROPOSED MULTIFAMILY

**SUBJECT PROPERTY
EXISTING R5 ZONING**

HOPE MILLS GOLF COURSE

**SKETCH MAP
CASE NUMBER ZNG-006-23**



Town of Hope Mills

Planning Department

CASE NO.: ZNG-006 23

ZONING BOARD
MEETING DATE: 6/20/23

DATE APPLICATION
SUBMITTED: 4/19/23

RECEIPT NO.: R000 22794

RECEIVED BY: E. Weidner

APPLICATION FOR REZONING HOPE MILLS ZONING ORDINANCE

The following items are to be submitted with this completed application:

1. A copy of the *recorded* deed and/or plat;
2. If portion(s) of an existing tract is/are being submitted for rezoning, an accurate written legal description of only the area to be considered for the rezoning; and
3. A check made payable to "Town of Hope Mills" in the amount of \$ 600.00.
(See attached Fee Schedule).

Rezoning Procedure:

1. Complete application submitted by the applicant.
2. Notification to surrounding property owners.
3. Zoning Board hearing.
4. Re-notification of interested parties and adjacent property owners; public hearing advertisement in the newspaper.
5. Hope Mills Commissioners' public hearing (approximately two to four weeks after Planning Board public hearing)
6. If approved by the Hope Mills Commissioners, rezoning becomes effective immediately.

The Town Planning Staff may advise on zoning options, inform applicants of development requirements and answer questions regarding the application and rezoning process. For questions, call (910)424-4555. Hours of operation are 8:00 a.m. to 5:00 p.m., Monday through Friday.

NOTE: Any revisions, inaccuracies or errors to/on the application may cause the case to be delayed and re-scheduled for the next available Board meeting according to the Board's meeting schedule. Also, the application fee is *nonrefundable* once processing of the application has begun.

TO THE ZONING BOARD AND THE TOWN OF HOPE MILLS BOARD OF COMMISSIONERS, HOPE MILLS, NORTH CAROLINA:

I (We), the undersigned, hereby submit this application, and petition the Hope Mills Board of Commissioners to amend and to change the zoning map of the Town of Hope Mills as provided for under the provisions of the Hope Mills Zoning Ordinance. In support of this petition, the following facts are submitted:

1. Requested Rezoning from R 5 to C(P)

If the area is a portion of an existing parcel, a written metes and bounds description of only that portion to be considered for rezoning, including the exact acreage must accompany this application along with a copy of the recorded deed and/or plat. If more than one zoning classification is requested, a correct metes and bounds legal description, including acreage, for each bounded area must be submitted.

2. Address/location of property to be Rezoned: Golfview Drive

3. Parcel Identification Number (PIN #) of property: 0414-12-7031
(also known as Tax ID Number or Property Tax ID)

4. Acreage: 4.01 Frontage: 251 Depth: 800

5. Water Provider: Well: _____ PWC: X

6. Septage Provider: Septic Tank _____ PWC X Other (name) _____

7. Deed Book 9501, Page(s) 417 Cumberland County Register of Deeds. (Attach copy of deed of subject property as it appears in Registry).

8. Existing use(s) of property: Vacant former Golf Course

9. Proposed use(s) of the property: Hotel Suites

10. Do you own any property adjacent to, including across the street from, the property being submitted for rezoning? Yes _____ No X
If yes, where? _____

11. Has a violation been issued on this property? Yes _____ No X

The Planning Staff is available for advice on completing this application; however, they are not available for completion of the application.

The undersigned hereby acknowledge that the Planning Staff has conferred with the petitioner or assigns, and the application as submitted is accurate and correct.

Jacob Joby
Property owner(s)' name (print or type)

3713 Sunchase Dr Fayetteville NC 28306
Complete mailing address of property owner(s)

910 922 4193
Telephone number Alternative telephone number

E-mail address Fax number

Agent, attorney, or applicant (other than property owner) (print or type)

Complete mailing address of agent, attorney, or applicant

Telephone number Alternative telephone number

Jobbylessy@gmail.com
E-mail address Fax number

Jacob Joby
Owner's signature Agent, attorney, or applicant's signature
(other than property owner)

Owner's signature

Upon submission, the contents of this application becomes "public record" and is available for review and/or copies upon request.

REZONING PROPOSAL

Beginning at a point in the southern margin of Golfview Drive-SR 1115 60 foot public right of way, said point being the northwest corner of JMN of NC, Inc. as recorded in Deed Book 9501, Page 417 Cumberland County, North Carolina Registry, and runs thence with the southern margin of Golfview Drive North 45 degrees 44 minutes 37 seconds East 250.77 feet to a point, thence South 42 degrees 49 minutes 49 seconds East 505.22 feet to a point, thence South 15 degrees 23 minutes 37 seconds East 113.87 feet to a point, South 11 degrees 38 minutes 31 seconds East 126.01 feet to a point, thence South 21 degrees 08 minutes 39 seconds East 118.00 feet to a point, thence South 30 degrees 28 minutes 15 minutes East 109.96 feet to a point, thence North 63 degrees 55 minutes 23 seconds West 134.07 feet to a point, thence North 44 degrees 05 minutes 22 seconds West 800.00 feet to the beginning. Containing 4.01 Acres and being a portion of JMN of NC, Inc. property as recorded in Deed Book 9501, Page 417 Cumberland County North Carolina Registry.

Requested Zoning Districts	Less Than 1 Acre	1 to 5 acres	Over 5, Up to 10 acres	Over 10 Acres
RR	\$400	\$500	\$600	\$700
R20	\$400	\$500	\$600	\$700
R15	\$400	\$500	\$600	\$700
R7.5	\$400	\$500	\$600	\$700
R6	\$400	\$500	\$600	\$700
R6A	\$400	\$500	\$600	\$700
R5	\$400	\$500	\$600	\$700
R5A	\$400	\$500	\$600	\$700
O&I(P)	\$500	\$600	\$700	\$900
C1(P)	\$500	\$600	\$700	\$900
C2(P)	\$500	\$600	\$700	\$900
C(P)	\$500	\$600	\$700	\$900
M1(P)	\$500	\$600	\$700	\$900
M2(P)	\$500	\$600	\$700	\$900
Pre application meeting required for all applications				

Please Note:

1. If more than one zoning district is request in the same applications, the highest fee for the district requested will apply.
2. If a general rezoning is requested and based on recommendations of the Planning Board of Hope Mills Commissioners, as Conditional Use District and Permit application is to be filed; the original application fee will be credited toward the Conditional Use District and Permit application fee.



Town of Hope Mills
5770 Rockfish Road
Hope Mills, NC 28348

Receipt Number: R00022794

Cashier Name: Mahera Abu-Seif

Terminal Number: 1

Receipt Date: 4/26/2023 5:38:29 AM

Tran. Code: 103651 - Zoning Petitions	Name: ZNG-006-23 / JNM OF NC INC	\$600.00	
Zoning Petitions		\$600.00	
Payment Method: Check	Payor: ZNG-006-23 / JNM OF NC II Reference: 2062		
	Total Amount Applied:	\$600.00	
	Amount:	\$600.00	
	Total Payment Received:	\$600.00	
	Change:	\$0.00	
GL Distribution:	Account Number	Account Name	Amount
	10-3651	ZONING PETITIONS	600.00
		Total Distribution Amount:	600.00

VICINITY MAP N.T.S.

NORTH CAROLINA, GUILFORD COUNTY

NORTH CAROLINA, CUMBERLAND COUNTY
1. AGENCY & TITLE COUNTY MAIL DEL. AND REG. CLERK UNDER THE SUPERVISION
FROM AN AGENCY SUPERVISOR UNDER SUPERVISION, POSTS AND OCCUPATIONS DEPARTMENT
2. DATE 1962 3. DATE 1962 4. DATE 1962 5. DATE 1962
REFERENCE SOURCE THE BUREAU OF THE POSTS AND OCCUPATIONS DEPARTMENT
AS DELIVERED FROM AND WHICH IN PLAIN STATE. PHONE ON OTHER AVAILABLE SOURCE
6. DATE THE DATE OF PROSECUTION BEING ADJUSTED TO 1962, 1963, AND
THE DATE WHEN THE AGENTS OF THE STATEMENT OF FACTS OF LAW ENFORCEMENT IN
NORTH CAROLINA (BY NAME AND DATE) THIS 22 DAY OF JANUARY, 1962.

**PRELIMINARY PLAT NOT FOR RECORDATION,
CONVEYANCES, OR SALES.**

REPORT NO. P-855

**SURVEYOR
SEAL**



GOLF ACRES
73 1/2, 12 1/2

GNR CAPITAL, LLC
24 FID, PG 246
PG. 113, PG. 17

JNX OF NC, INC.
CBL 8207, PG 47

TOWN OF HOPE MILLS
CA. 1792 - PG. 239

NOTES

1. THERE IS NO HORIZONTAL CONTROL WITHIN 2000 FEET.
2. PROPERTY SUBJECT TO ANY EASEMENTS OF RECORD.
3. ADJACENT BY COORDINATE COMPUTATION.
4. THIS IS NOT AN ACTUAL SURVEY OBTAINED FROM A MAPS FOR RECORD PURPOSES.

LEGEND

[illegible]

REFERENCES

0414-12-7031
03. 9501, PG. 417

PRELIMINARY PLAN FOR REZONING PURPOSES

PROPERTY OF
JMN OF NC, INC.

HOOTSN 104542
HOPE WILLS
SCALE: 1" = 100'

CLIMBERLAND COUNTY
NORTH CAROLINA
DATE SUBMITTED - N/A

JEFFREY B. RIDDLE PLS-3653
5285 HALL PARK ROAD FAYETTEVILLE, NC 2850
1-910-326-9330

THE SCALE (IN FEET)



MEMORANDUM

DATE: May 30, 2023

TO: Chancer F. McLaughlin – Interim Town Manager

FROM: Stephen F. Dollinger – Police Chief
Elisabeth Brown – Stormwater Administrator
Don Sisko – Public Works Director
Chuck Hodges – Fire Chief
Robert Carter – Fire Marshall
Kenny Tatum – Chief Building inspector
Emily Weidner – Town Planner

SUBJECT: CASE NO: ZNG-006-23

REQUEST: Rezoning front portion to C(P) Planned Commercial District

PARCEL#: 0414127031000

SIZE: 33.58+/- acres (only involves front 4.01+/- acres)

LOCATION: Golfview Drive

POLICE DEPARTMENT:

Recommendation: **APPROVAL**
Comments: No objections

PUBLIC WORKS DEPARTMENT:

Recommendation: **APPROVAL**
Comments: No objections

STORMWATER DEPARTMENT:

Recommendation: **APPROVAL**
Comments: Stormwater permit required. Is not located in the Airport Overlay District nor is it located in the floodplain.

PLANNING AND ZONING DEPARTMENT:

Recommendation: **APPROVAL**
Comments: No objections

FIRE DEPARTMENT:

Recommendation: **APPROVAL**
Comments: No objections

INSPECTIONS DEPARTMENT:

Recommendation: **APPROVAL**
Comments: No objections.

Owner	Street	City	State	Zip
JNM of NC, Inc	5604 Shady Pine Court	Hope Mills	NC	28348
GMR Capital, LLC	PO Box 53552	Fayetteville	NC	28305
Paul & Allison Johnson	5109 Archer Road	Hope Mills	NC	28348
Fred & Abigail Felder	5105 Archer Road	Hope Mills	NC	28348
Peter Buchholtz	5108 Archer Road	Hope Mills	NC	28348
Theodore Egusquiza	5105 Pringle Way	Hope Mills	NC	28348
Town of Hope Mills	5770 Rockfish Road	Hope Mills	NC	28348
Cyndi Lee McKinney	3310 South Peak Drive	Fayetteville	NC	28306
Candice Maria Britt Swinson	PO Box 1284	Holly Springs	NC	27540
Michael Joseph Harris	3618 Golfview Road	Hope Mills	NC	28348
Roy & Gwendolyn Chavis	3622 Golfview Road	Hope Mills	NC	28348
James & Teresa Back	3626 Golfview Road	Hope Mills	NC	28348
Anthony & Priscilla Huggins	4437 Bishamon Street	Hope Mills	NC	28348
Jennifer & Janet Dearborn	4441 Bishamon Street	Hope Mills	NC	28348
Ann Ellis	4445 Bishamon St	Hope Mills	NC	28348
James Rupert Holland	4500 Bent Grass Drive	Fayetteville	NC	28348
James Wallace Simmons	4363 Dominique Street	Hope Mills	NC	28348
Ricky & Amber Blackwell	615 Sunpointe Drive	Hope Mills	NC	28348
Ronald Gosciniak	4364 Dominique Street	Hope Mills	NC	28348
Genesis Real Property	4381 N 75th St Ste 201	Scottsdale	AZ	85251
Daniel & Kimberly Strahan	5203 Ballentine Street	Hope Mills	NC	28348
Raphael Okojie	5312 Old Railroad Way	Hope Mills	NC	28348
Abraham Delossantos	5308 Old Railroad Way	Hope Mills	NC	28348
Sarah Walls	5304 Old Railroad Way	Hope Mills	NC	28348
Jerry David Gouveia	5300 Old Railroad Way	Hope Mills	NC	28348
Douglas & Brenda Delong	5250 Old Railroad Way	Hope Mills	NC	28348
Kristen Harmon	5246 Old Railroad Way	Hope Mills	NC	28348



PLANNING AND INSPECTIONS DEPARTMENT

MEMORANDUM FOR JOINT PLANNING BOARD AGENDA OF JULY 18, 2023

TO: JOINT PLANNING BOARD

FROM:

DATE:

SUBJECT: NONE